

BRUNSWICK COUNTY REST AREA RENOV. US 17 AT NC 130 SHALLOTTE, NC

NC DEPT. OF INSURANCE 2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 & 2-FAMILY DWELINGS AND TOWNHOUSES)

NC

Name Of Project: BRUNSWICK COUNTY REST AREA & VISTOR CENTER RENOVATION
Address: 394 WHITEVILLE ROAD NW, SHALLOTTE, NC 28470
Zip Code: 28470
Owner Or Authorized Agent: W. S. Architects, PA Phone: (919) 779-9797 E-mail: ginger@wsarchitectspa.com

Owned By: City/County Private State County
Code Enforcement Jurisdiction: Town County State

LEAD DESIGN PROFESSIONAL: W. S. ARCHITECTS, PA
Designer: **FIRM NAME LIC. # TELEPHONE E-MAIL**
 Architectural: W. S. Architects Ginger S. Summer 11075 (919) 779-9797 ginger@wsarchitectspa.com
 Civil --- --- --- --- ---
 Electrical: Burke Design Group Benjamin E. Burke 22038 (919) 771-1916 benburke@nc.rr.com
 Fire Alarm: --- --- --- --- ---
 Plumbing: Burke Design Group Benjamin E. Burke 22038 (919) 771-1916 benburke@nc.rr.com
 Mechanical: Burke Design Group Benjamin E. Burke 22038 (919) 771-1916 benburke@nc.rr.com
 Sprinkler-Standpipe: --- --- --- --- ---
 Structural: Lysaght & Assoc. James E. Struffolino 15887 --- --- jes@lysaghtassociates.com
 Retaining Walls --- --- --- --- ---
 >5' High: --- --- --- --- ---
 Other: ---

2018 NC BUILDING CODE: New Building Shell/Core 1st Time Interior Completions
 Addition Phased Construction - Shell Core
2018 NC EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III

CONSTRUCTED: (date) 1990 **CURRENT OCCUPANCY(S)** (Ch. 3): B
RENOVATED: (date) --- **PROPOSED OCCUPANCY(S)** (Ch. 3): B
OCCUPANCY CATEGORY (Table 1604.5): Current: II Proposed: II

BASIC BUILDING DATA
CONSTRUCTION TYPE: I-A IIA III-A IV V-A
 IB IIB III-B V-B

SPRINKLERS: NO PARTIAL NFPA 13 NFPA 13R NFPA 13D
STANDPIPES: NO CLASS I II III WET DRY
PRIMARY FIRE DISTRICT: NO YES **FLOOD HAZARD AREA:** NO YES
SPECIAL INSPECTIONS REQUIRED: NO YES

GROSS BUILDING AREA

	EXISTING (SF)	NEW (SF)	SUB-TOTAL	TENANT
3RD FLOOR	---	---	---	---
2ND FLOOR	---	---	---	---
MEZZANINE	600	---	600	---
1ST FLOOR	2,435	268	2,703	---
BASEMENT	---	---	---	---
TOTAL	3,036	268	3,303	---

ALLOWABLE AREA:
PRIMARY OCCUPANCY: A-1 A-2 A-3 A-4 A-5
 BUSINESS
 EDUCATIONAL
 FACTORY
 HIGH-HAZARD
 INSTITUTIONAL

F-1 Moderate F-2 Low
 H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 I-1 I-2 I-3 I-4
 I-1 Condition 1 2
 I-2 Condition 1 2
 I-3 Condition 1 2 3 4 5

MERCANTILE
 RESIDENTIAL
 STORAGE

S-1 Moderate S-2 Low HIGH-PILED
 PARKING GARAGE OPEN ENCLOSED REPAIR GARAGE

UTILITY & MISCELLANEOUS

ACCESSORY OCCUPANCY CLASSIFICATION(S): _____
INCIDENTAL USES (Table 509): _____
 This separation is not exempt as a Non-Separated Use (see exceptions).
SPECIAL USES (Chapter 4 - List Code Sections): _____
SPECIAL PROVISIONS (Chapter 5 - List Code Sections): _____
MIXED OCCUPANCY: Separation: NON-SEPARATED MIXED USE FOR TENANT Exception: _____

$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$

STORY NO.	DESCRN AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2, AREA	(C) AREA FOR OPEN SPACE INCREASE 1.5	(D) ALLOWABLE AREA OR UNLIMITED 2.3
1	B	3,303	9,000	6,750	15,750
---	---	---	---	---	---

- Frontage Area Increases From Section 506.2 Are Competed Thus:
 - Perimeter Which Fronts A Public Way Or Open Space Having 20 Ft Min. Width = 910' (F).
 - Total Building Perimeter = 910' (P).
 - Ratio (FP) = 1 (FP).
 - W = Minimum Width Of Public Way = 30 (W)
- Unlimited area applicable under conditions of Section 507.
- Max. Building Area = Total No. Of Stories In The Building X D (maximum 3 stories) (506.2).
- The Maximum Area Of Open Parking Garages Must Comply With 406.5.4. The Maximum Area Of Air Traffic Control Towers Must Comply With 412.3.1.
- Frontage increase is based on the un-sprinklered area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE (TABLES 504.3 & 504.4)	SHOWN ON PLANS	CODE REFERENCE
BUILDING HEIGHT IN FEET	40 (FT)	28 (FT)	---
BUILDING HEIGHT IN STORIES	2 (STORIES ABOVE GRADE PLANE)	1 (STORIES)	---

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

NC DEPT. OF INSURANCE 2018 APPENDIX B BUILDING CODE SUMMARY CONTINUED

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPN DIST. (FT)	RATING REQ'D	RATING PROV'D (W/ REDUCTION)	DETAIL # AND SHEET #	DES. # FOR RATED ASSY	DES. # FOR RATED PENETN	DES. # FOR RATED JOINTS
STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS, TRUSSES	≥ 30'	0	0	---	---	---	---
BEARING WALLS	---	---	---	---	---	---	---
EXTERIOR	---	---	---	---	---	---	---
NORTH	---	---	---	---	---	---	---
EAST	---	---	---	---	---	---	---
WEST	---	---	---	---	---	---	---
SOUTH	---	---	---	---	---	---	---
INTERIOR	---	---	---	---	---	---	---
NONBEARING WALLS AND PARTITIONS	---	---	---	---	---	---	---
EXTERIOR	---	---	---	---	---	---	---
NORTH	---	---	---	---	---	---	---
EAST	---	---	---	---	---	---	---
WEST	---	---	---	---	---	---	---
SOUTH	---	---	---	---	---	---	---
INTERIOR WALL & PARTITIONS	---	---	---	---	---	---	---
FLOOR CONSTRUCTION	---	---	---	---	---	---	---
INCLUDING SUPPORTING BEAMS AND JOISTS	---	---	---	---	---	---	---
FLOOR CEILING ASSEMBLY	---	---	---	---	---	---	---
COLUMNS SUPPORTING FLOORS	---	---	---	---	---	---	---
ROOF CONSTRUCTION	---	---	---	---	---	---	---
INCLUDING SUPPORTING BEAMS AND JOISTS	---	---	---	---	---	---	---
ROOF CEILING ASSEMBLY	---	---	---	---	---	---	---
COLUMNS SUPPORTING ROOF	---	---	---	---	---	---	---
SHAFTS ENCLOSURES-EXIT	---	---	---	---	---	---	---
SHAFTS ENCLOSURES-OTHER	---	---	---	---	---	---	---
CORRIDOR SEPARATION	---	---	---	---	---	---	---
OCCUPANCY/FIRE BARRIER	---	---	---	---	---	---	---
SEPARATION	---	---	---	---	---	---	---
PARTY/FIRE WALL SEPARATION	---	---	---	---	---	---	---
SMOKE BARRIER SEPARATION	---	---	---	---	---	---	---
SMOKE PARTITION	---	---	---	---	---	---	---
TENANT/DWELLING UNIT/SLEEPING UNIT SEPARATION	---	---	---	---	---	---	---
INCIDENTAL USE SEPARATION	---	---	---	---	---	---	---

*INDICATE SECTION NO. PERMITTING REDUCTION

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
---	---	---	---
---	---	---	---
---	---	---	---
---	---	---	---
---	---	---	---
---	---	---	---

LIFE SAFETY SYSTEM REQUIREMENTS

EMERGENCY LIGHTING: YES NO SMOKE DETECTION SYSTEMS: YES NO
 EXIT SIGNS: YES NO PANIC HARDWARE: YES NO
 FIRE ALARM: YES NO

LIFE SAFETY PLAN REQUIREMENTS SHEET NUMBER A1.0

FIRE AND/OR SMOKE RATED WALL LOCATIONS (CHAPTER 7)
 ASSUMED AND REAL PROPERTY LINE LOCATIONS (IF NOT ON SITE PLAN)
 EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8)
 OCCUPANCY USE FOR EACH AREA AS IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.2)
 OCCUPANT LOADS FOR EACH AREA
 EXIT ACCESS TRAVEL DISTANCES (1017)
 COMMON PATH OF TRAVEL DISTANCES (1006.2.1 & 1006.3.2(1))
 DEAD END LENGTHS (1020.4)
 CLEAR EXIT WIDTHS FOR EACH EXIT DOOR
 MAXIMUM CALCULATED OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON EGRESS WIDTH (1005.3)
 ACTUAL OCCUPANT LOAD FOR EACH DOOR
 A SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR/CEILING AND/OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION
 LOCATION OF DOORS WITH PANIC HARDWARE (1010.1.10)
 LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND THE AMOUNT OF THE DELAY (1010.1.9.7)
 LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1010.1.9.9)
 LOCATION OF DOORS EQUIPPED WITH HOLD-OPEN DEVICES
 LOCATION OF EMERGENCY ESCAPE WINDOWS (1030)
 THE SQUARE FOOTAGE OF EACH FIRE AREA (202)
 THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT FOR OCCUPANCY CLASSIFICATION I-2 (407.5)
 NOTE ANY CODE EXCEPTIONS ON TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQ'D	ACCESSIBLE UNITS PROV'D	TYPE A UNITS REQ'D	TYPE A UNITS PROV'D	TYPE B UNITS REQ'D	TYPE B UNITS PROV'D	TOTAL ACCESSIBLE UNITS PROV'D
---	---	---	---	---	---	---	---

ACCESSIBLE PARKING (SECTION 1106) EXISTING TO REMAIN

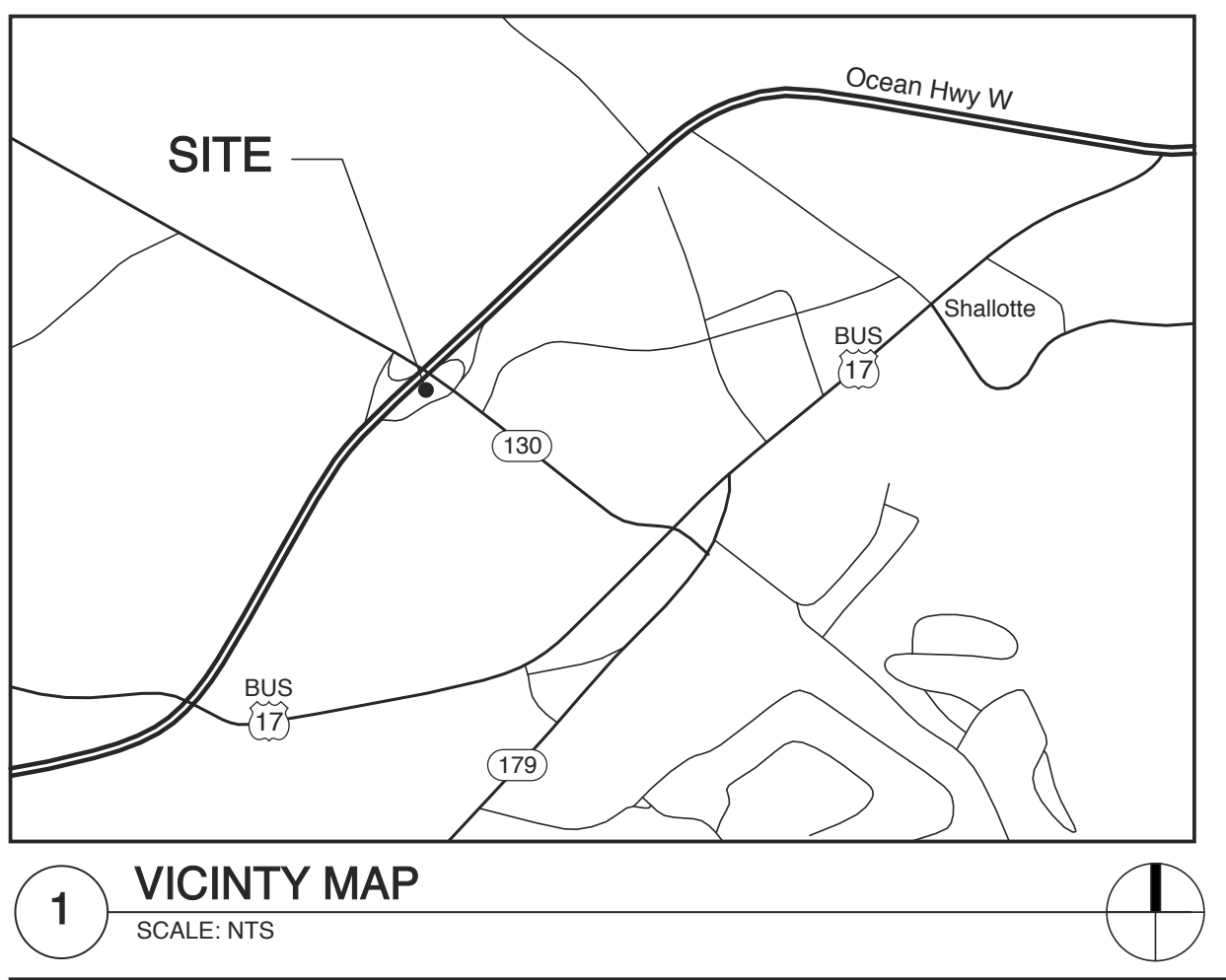
LOT OR PARKING AREA	TOTAL # OF SPACES REQ'D	# OF ACCESSIBLE SPACES PROVIDED	VAN SPACES WITH			TOTAL # ACCESSIBLE PROVIDED
			REG. WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
---	---	---	---	---	---	---
TOTAL	---	---	---	---	---	---

PLUMBING FIXTURE REQUIREMENT (TABLE 403.1)

PER SECTION 403.2 EXCEPTION 2 OF THE NCSPC, SEPARATE FACILITIES ARE NOT REQUIRED WITH LESS THAN 25 OCCUPANTS.

SPACE	EXIST'G REQ'D	WATERCLOSETS			URINALS			LAVATORIES			SHOWERS/TUBS		DRINKING FOUNTAINS	
		MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE		
---	---	---	---	---	---	---	---	---	---	---	---	---	---	---
NEW REQ'D	---	---	---	---	---	---	---	---	---	---	---	---	---	---

SPECIAL APPROVALS
 Special Approval: (Local Jurisdiction, Dept of Insurance, OSC, DPI, DHHS, etc., describe below)



NC DEPT. OF INSURANCE 2018 APPENDIX B BUILDING CODE SUMMARY CONTINUED

COMcheck Software Version COMcheckWeb Envelope Compliance Certificate

Project Information
 Energy Code: 90.1 (2013) Standard
 Project Title: Brunswick
 Location: Charlotte, North Carolina
 Climate Zone: 3a
 Project Type: New Construction
 Vertical Glazing / Wall Area: 31%
 Performance Sim. Specs: EnergyPlus 8.1.0.009 (EPW: USA_NC_Wilmington.Intl.AP.723013_TMY3.epw)

Construction Site: Owner/Agent: Designer/Contractor:

Building Area **Floor Area**
 1-Retail : Nonresidential 1133

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ^(a)
Roof: Attic Roof, Wood Joists, [Bldg. Use 1 - Retail]	260	42.0	0.0	0.024	0.027
NORTH					
Ext. Wall: Wood-Framed, 24in. o.c., [Bldg. Use 1 - Retail]	849	19.0	5.0	0.047	0.089
Window: Other Window: Fixed, Perf. Specs.: Product ID trifab, SHGC 0.25, PF 0.10, VT 0.55, [Bldg. Use 1 - Retail] (c)	246	---	---	0.550	0.350
Door: Glass (over 50% glazing): Metal Frame, Entrance Door, Perf. Specs.: Product ID storefront, SHGC 0.25, VT 0.55, [Bldg. Use 1 - Retail] (c)	42	---	---	0.770	0.770
EAST					
Ext. Wall: Wood-Framed, 24in. o.c., [Bldg. Use 1 - Retail]	849	19.0	5.0	0.047	0.089
Window: Other Window: Fixed, Perf. Specs.: Product ID trifab, SHGC 0.25, PF 0.10, VT 0.55, [Bldg. Use 1 - Retail] (c)	51	---	---	0.550	0.350
Window: Other Window: Fixed, Perf. Specs.: Product ID trifab, SHGC 0.25, PF 0.10, VT 0.55, [Bldg. Use 1 - Retail] (c)	288	---	---	0.550	0.350
SOUTH					
Ext. Wall: Wood-Framed, 24in. o.c., [Bldg. Use 1 - Retail]	849	19.0	5.0	0.047	0.089
Window: Other Window: Fixed, Perf. Specs.: Product ID trifab, SHGC 0.25, PF 0.10, VT 0.55, [Bldg. Use 1 - Retail] (c)	164	---	---	0.550	0.350
(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements. (b) 'Other' components require supporting documentation for proposed U-factors. (c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.					

Envelope Compliance Statement
 Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 90.1 (2013) Standard requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

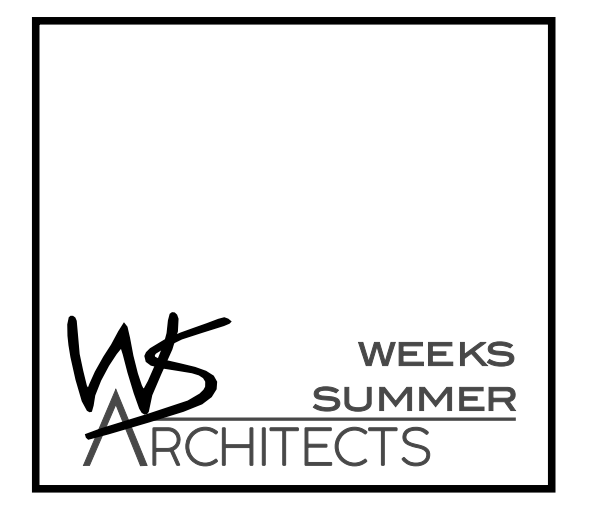
STRUCTURAL DESIGN (COPIED FROM STRUCTURAL NOTE SHEET)
 CODE: NORTH CAROLINA STATE BUILDING CODE - 2018 EDITION (IBC 2015)
 STRUCTURAL LOADING PER ASCE 7-2010
 BUILDING RISK CATEGORY (NCSCB 2018 TABLE 1604.5) I1

DESIGN LOADS:
 ROOF LIVE LOAD 20 PSF
 FLOOR LIVE LOAD (Main Floor) 100 PSF
 FLOOR LIVE LOAD (Upper Level Office) 50 PSF

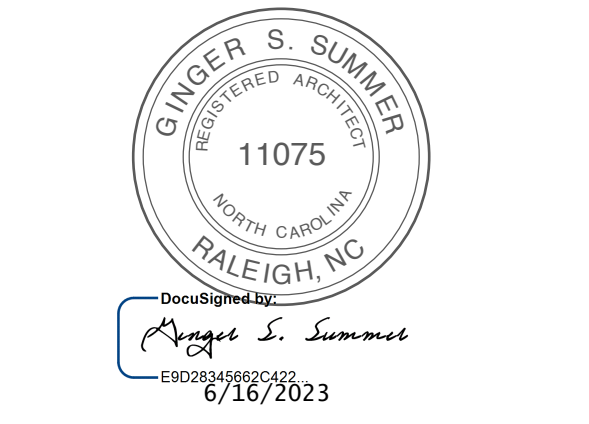
SNOW LOAD DATA:
 GROUND SNOW LOAD 10 PSF
 SNOW EXPOSURE FACTOR 1.0
 SNOW LOAD IMPORTANCE FACTOR 1.0
 THERMAL FACTOR 1.1
 FLAT ROOF SNOW LOAD 12.7 PSF
 ROOF SLOPE FACTOR 1.0
 PITCHED ROOF SNOW LOAD 7.7 PSF

WIND LOAD DATA:
 ULTIMATE DESIGN WIND SPEED, Vult 147 MPH
 NOMINAL DESIGN WIND SPEED, Vnsd 114 MPH
 WIND EXPOSURE "B" w/ Open Patches
 INTERNAL PRESSURE COEFFICIENTS (Addition) 6.50, -0.18
 WIND BASE SHEAR (Addition, x= Direction) 7.5 KIPS
 WIND BASE SHEAR (Addition, y= Direction) 11.3 KIPS
 INTERNAL PRESSURE COEFFICIENTS (Covered Entry) +0.0, -0.0
 WIND BASE SHEAR (Covered Entry, x= Direction) 2.4 KIPS
 WIND BASE SHEAR (Covered Entry, y= Direction) 2.1 KIPS
 WIND PRESSURE FOR COMPONENTS / CLADDING PER ASCE 7-10

SEISMIC LOAD DATA:
 SEISMIC IMPORTANCE FACTOR I 1.00
 MAPPED SPECTRAL RESPONSE ACCELERATION Sa 0.293
 MAPPED SPECTRAL RESPONSE ACCELERATION S1 0.115
 SITE CLASS d
 SPECTRAL RESPONSE COEFFICIENT SDS 0.308
 SPECTRAL RESPONSE COEFFICIENT SD1 0.179
 SEISMIC DESIGN CATEGORY c
 BASIC STRUCTURAL SYSTEM (Addition) Bearing Wall System
 SEISMIC RESISTING SYSTEM Light Framed Walls w/ Shear Panels
 RESPONSE MODIFICATION COEFFICIENT R 6.50
 SYSTEM OVERSTRENGTH FACTOR Omega 3.00
 DEFLECTION AMPLIFICATION FACTOR Cd 4.00
 SEISMIC RESPONSE COEFFICIENT Cs 0.047
 ANALYSIS PROCEDURE Equivalent Lateral Force
 SEISMIC BASE SHEAR (Addition) 1.7 KIPS
 BASIC STRUCTURAL SYSTEM (Covered Entry) Cantilevered Column System
 SEISMIC RESISTING SYSTEM Steel Ordinary Cantilevered Column
 RESPONSE MODIFICATION COEFFICIENT R 1.25
 SYSTEM OVERSTRENGTH FACTOR Omega 1.25
 DEFLECTION AMPLIFICATION FACTOR Cd 1.25
 SEISMIC RESPONSE COEFFICIENT Cs 0.245
 ANALYSIS PROCEDURE Equivalent Lateral Force
 SEISMIC BASE SHEAR (Covered Entry) 1.3 KIPS



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SCOPE OF WORK:

- NEW EXT. ENVELOPE FOR VISTOR CENTER
- ADDITION OF FAMILY RESTROOM
- NEW RESTROOM ENTRANCE CANOPY
- NEW INTERIOR FINISHES

DRAWING INDEX

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A1.0	SITE / LIFE SAFETY PLAN
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A1.4	ENLARGED PLAN & INT. ELEVATIONS
A1.5	RCP & ROOF PLAN, INT. ELEVATIONS
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A3.2	WALL SECTIONS
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A5	DETAILS
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S2A	WALL ELEV. & LINTEL SCHEDULE
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M4	HVAC DETAILS
E1	ELECTRICAL DETAILS/SPECS
E2	EXISTING ELEC. PLAN
E3	NEW ELEC PLAN
E4	ELECT. PANEL S RISERS

BID SET 5.1.23
WBS: 15RE.13.3
SCO ID# 21-24079-01A

PROJECT TITLE
 BRUNSWICK CTY.
 REST AREA-RENOV.
 US 17 AT NC 130
 SHALLOTTE, NORTH CAROLINA

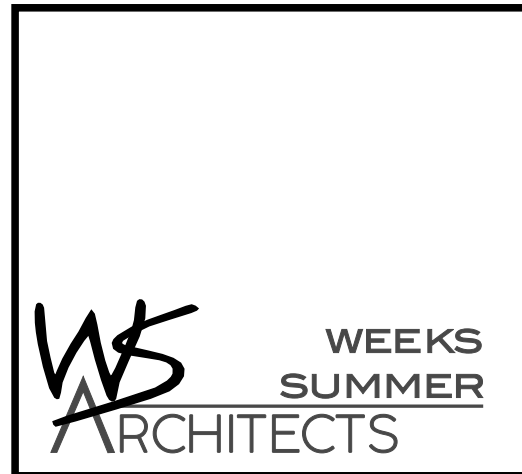
PROJECT NO.
 2104a
DRAWING TITLE
COVER SHEET

SHEET 1 OF 13

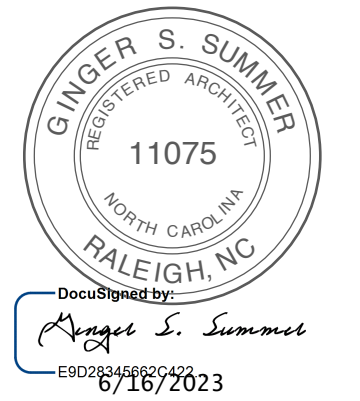
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PLOT DATE 6/16/23
REVISION 00/00/21

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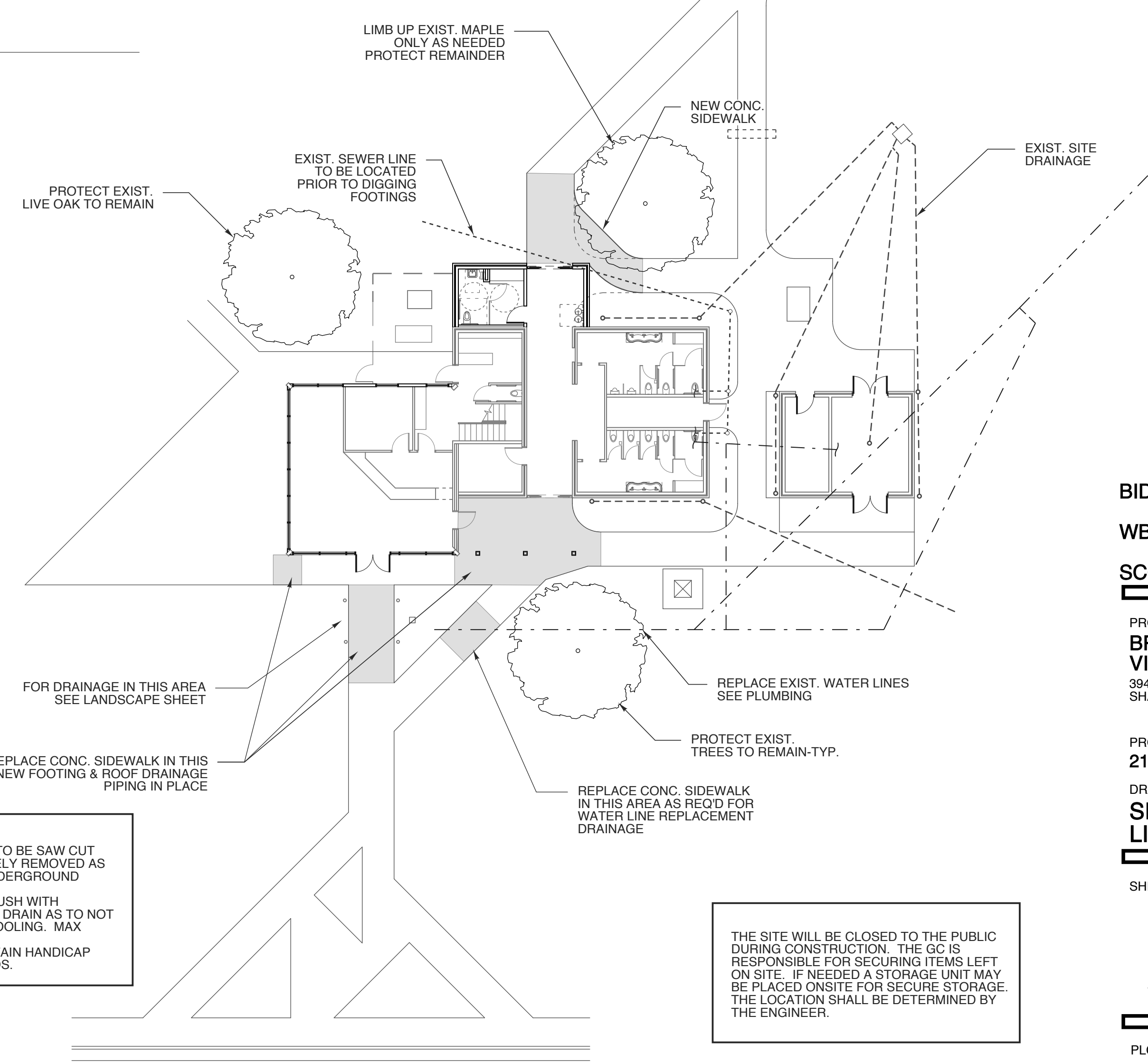
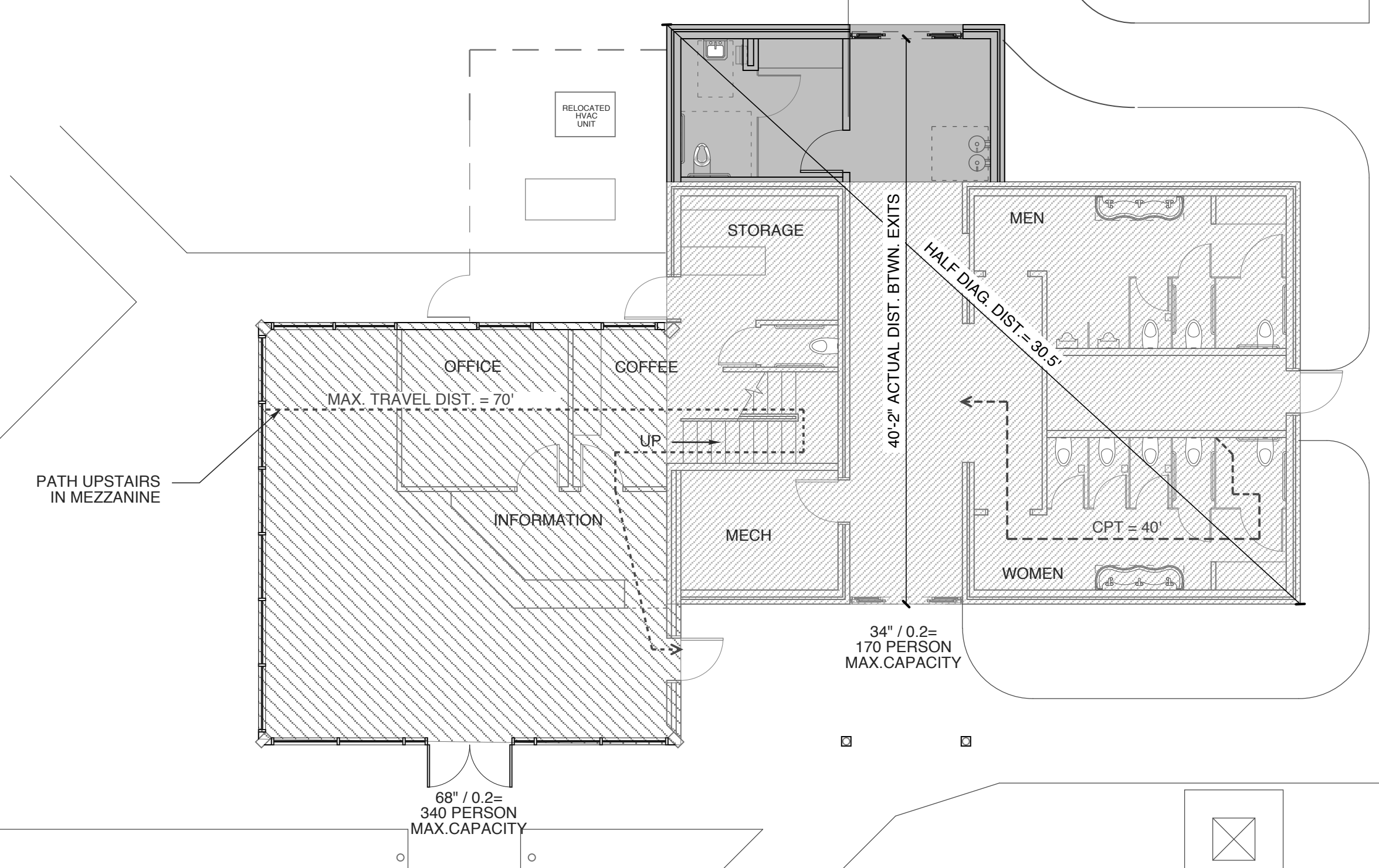


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AREAS	
1,350 SF	EXISTING REST AREA
877 SF +600 MEZZ.	EXISTING VISITOR CENTER
208 SF	EXISTING PORCH AREA
268 SF	NEW FAMILY RESTROOM
3,303 SF	TOTAL AREA

EGRESS REQ. & CODE REF.	
REST AREA	USE: BUSINESS
3,303 SF/100 = 34 PEOPLE	
34 x 0.2" = 6.8" CLEAR EGRESS WIDTH PER 1005.1 OF NCSCB	
DOORS TO HAVE 32" MIN. CLR. PER 404.2.2 OF ANSI A117.1	
THE CLEAR WIDTH OF INTERIOR ACCESSIBLE ROUTE IS 36" MIN. PER 403.5 OF ANSI A117.1	



GENERAL NOTES

I: FOR THIS PROJECT:

A) THE ARCHITECTS SCOPE OF WORK DOES INCLUDE CONSTRUCTION OBSERVATION.

THE CONTRACTOR IS IN CHARGE OF THE WORK AND COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT WILL BEAR NO RESPONSIBILITY FOR FAILURE OF THE CONTRACTOR TO FULLY COMPLY WITH ALL CONSTRUCTION DOCUMENTS.

USE OF THESE CONTRACT DOCUMENTS WILL CONSTITUTE AGREEMENT BY THE CONTRACTOR TO THESE CONDITIONS.

B) "THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF THE BUILDINGS" OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A-201, LATEST EDITION, ARE HEREBY MADE PART OF THE CONTRACT DOCUMENTS. IN THE EVENT OF A CONFLICT, THESE GENERAL NOTES AND CONTRACT SUPERSEDE "AIA DOCUMENT A-201".

II: ALL WORK UNDER THIS CONTRACT SHALL:

A) CONFORM TO STATE, LOCAL AND NATIONAL CODES AND ORDINANCES AS ARE APPLICABLE TO THE WORK INCLUDING BUT NOT LIMITED TO THE NORTH CAROLINA STATE BUILDING CODE, THE AMERICANS WITH DISABILITIES ACT (ADA), NATIONAL ELECTRIC CODES, ASTM SPECIFICATIONS, AND OSHA SAFETY REGULATIONS.

B) COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION (EPA). THE COST OF ALL REQUIRED INSPECTIONS AND PERMITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

III: UNLESS OTHERWISE DIRECTED BY THE ARCHITECT, THE CONTRACTOR SHALL:

A) SUPPLY AND PAY FOR ALL LABOR, TRANSPORTATION, MATERIALS, TOOLS, APPARATUS, LIGHTS, POWER, HEAT, SANITARY FACILITIES, WATER, SCAFFOLDING, AND INCIDENTALS NECESSARY FOR THE COMPLETION OF HIS WORK.

B) INSTALL, MAINTAIN AND REMOVE ALL EQUIPMENT, OTHER UTENSILS OR THINGS USED FOR THE CONSTRUCTION PRIOR TO TURNING OVER THE PROJECT. IF SUCH ITEMS ARE LEFT AFTER COMPLETION OF THE PROJECT, THEY SHALL BECOME PROPERTY OF THE OWNER. THE OWNER MAY PROMPTLY DISPOSE OF SUCH ITEMS, AND WILL NOT BE SUBJECT TO CLAIMS OF THE CONTRACTOR RESULTING FROM SUCH DISPOSITION.

C) CONSTRUCT IN THE BEST AND PROFESSIONAL MANNER, A COMPLETE JOB AND EVERYTHING INCIDENTAL THERETO, AS SHOWN OR REASONABLY IMPLIED FROM THE PLANS, ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

D) VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES DISCOVERED OR LACK OF REQUIRED INFORMATION TO REQUEST CLARIFICATION. IF THE CONTRACTOR OBSERVES THE CONTRACT DOCUMENTS TO BE CONTRARY TO GOVERNING LAWS, ORDINANCES, CODES, RULES AND REGULATIONS OR OTHERWISE QUESTIONABLE CONDITIONS, HE SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING FOR INSTRUCTIONS PRIOR TO PROCEEDING WITH THE WORK.

E) KEEP THE BUILDING AND SURROUNDING AREA REASONABLY FREE FROM RUBBISH AT ALL TIMES. AT A MINIMUM, DEBRIS SHALL BE REMOVED FROM THE SITE ON A WEEKLY BASIS OR AS DIRECTED BY PROJECT EXPEDITOR.

F) LOCATE ALL EXISTING UTILITIES. THE CONTRACTOR MAY NOT INTERFERE WITH ADJACENT UTILITIES UNLESS PRIOR NOTICE AND PERMISSION IS RECEIVED FROM THOSE WHO MAY AS A RESULT OF THIS INTERFERENCE BE AFFECTED.

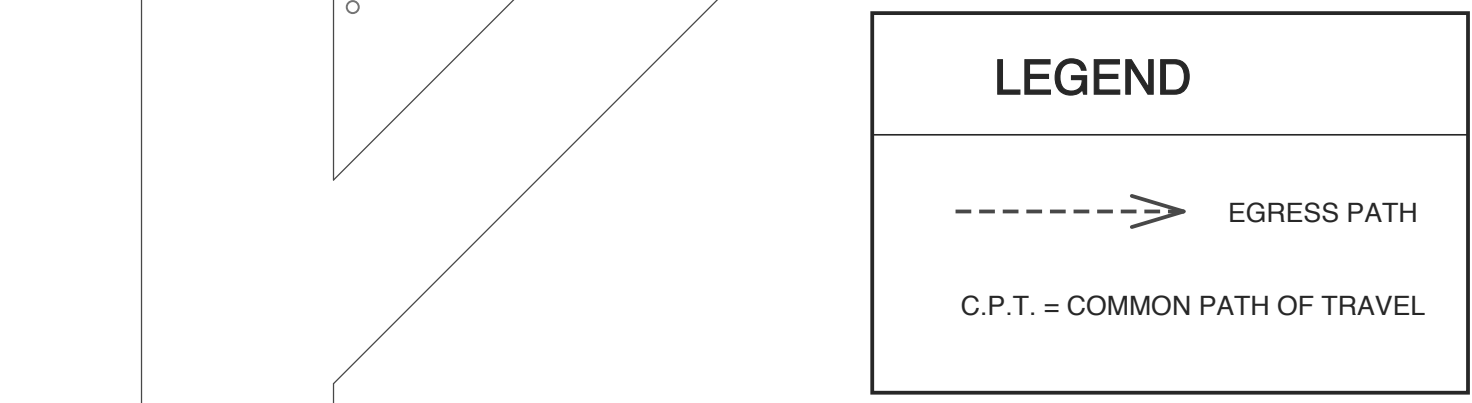
G) PRIOR TO ANY WORK, CALL "NC ONE CALL CENTER" @ 800-632-4949 AND OTHER LOCATING SERVICES AS TO CONFIRM LOCATION OF UTILITIES.

H) PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF THE BUILDING, EACH CONTRACTOR SHALL CLEAN HIS PORTION OF THE WORK, INCLUDING GLASS, HARDWARE FIXTURES, MASONRY, TILE AND MARBLE (USING NO ACID), CLEAN AND WAX ALL FLOORS AS SPECIFIED, AND COMPLETELY PREPARE THE BUILDING FOR USE BY THE OWNER.

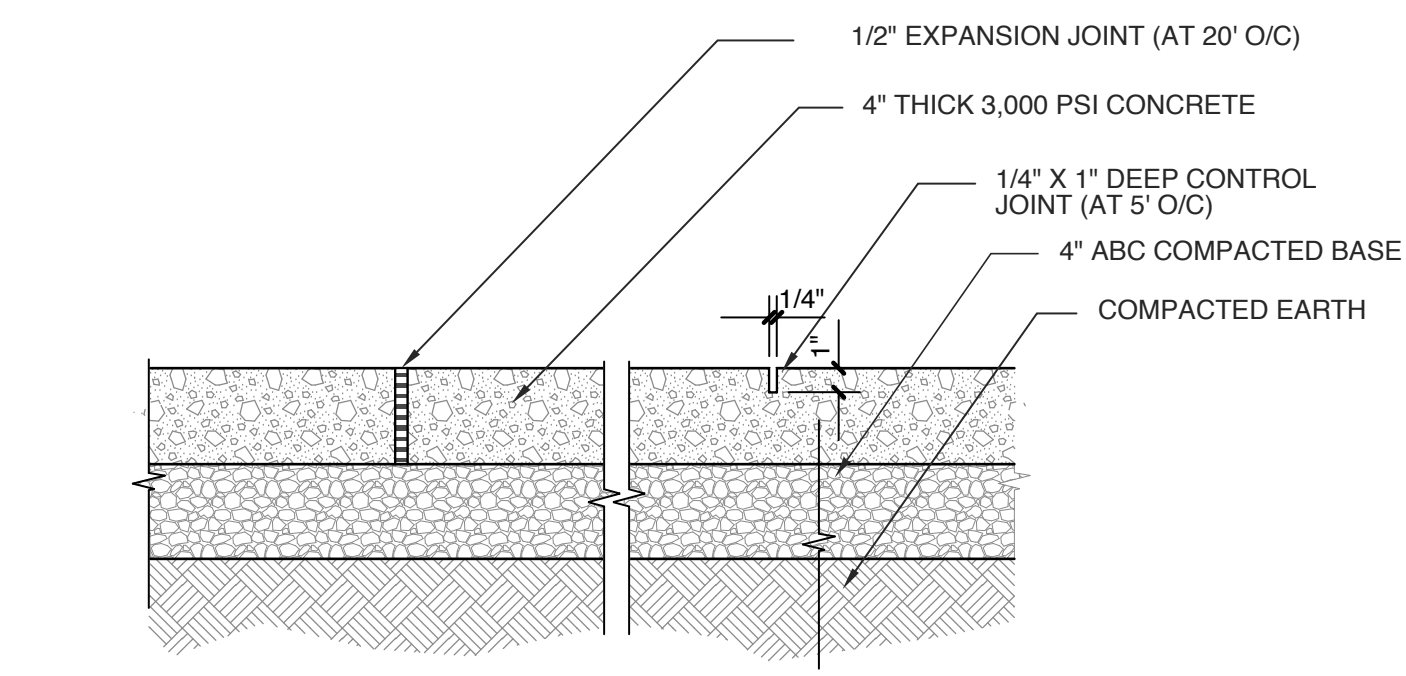
I) FILE WITH THE OWNER CURRENT INSURANCE CERTIFICATIONS IN THE AMOUNTS REQUESTED BY THE OWNER FOR BUILDER'S RISK, WORKMENS COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THIS INSURANCE SHALL INDEMNIFY THE OWNER AND THE ARCHITECT OF ANY AND ALL COSTS, CLAIMS, SUITS AND JUDGEMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY (INCLUDING GENERAL) ARISING OUT OF THE CONTRACTOR'S ACTIONS.

J) PROVIDE ALL NECESSARY SAFETY MEASURES FOR THE PROTECTION OF ALL PERSONS OF THE WORK, INCLUDING THE REQUIREMENTS OF THE A.G.C. ACCIDENT PREVENTION MANUAL IN CONSTRUCTION AS AMENDED, AND SHALL FULLY COMPLY WITH ALL STATE LAWS OR REGULATIONS AND NORTH CAROLINA STATE BUILDING CODE REQUIREMENTS TO PREVENT ACCIDENT OR INJURY TO PERSONS ON OR ABOUT THE LOCATION OF THE WORK.

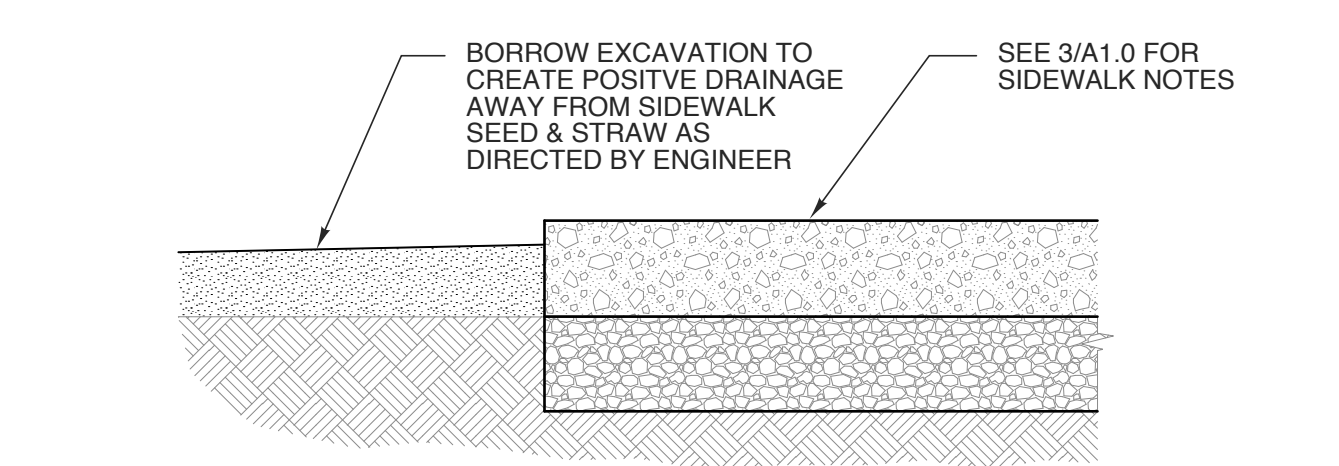
K) CLEARLY MARK OR POST SIGNS WARNING OF HAZARDS EXISTING, AND BARRICADE EXCAVATIONS, ELEVATOR SHAFTS, STAIRWELLS AND SIMILAR HAZARDS. PROTECT AGAINST DAMAGE OR INJURY RESULTING FROM FALLING MATERIALS AND MAINTAIN ALL PROTECTIVE DEVICES AND SIGNS THROUGHOUT THE PROGRESS OF THE WORK.



2 LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"



3 CONCRETE WALK DETAILS
SCALE: 1 1/2" = 1'-0"



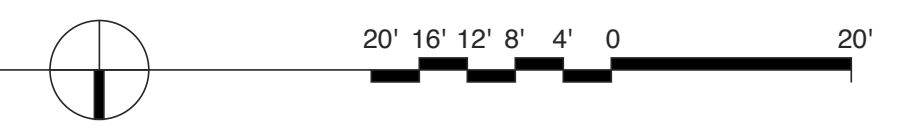
4 CONCRETE WALK DETAILS
SCALE: 1 1/2" = 1'-0"

NOTES:

- EXIST. CONC. SIDEWALK TO BE SAW CUT AND SECTIONS COMPLETELY REMOVED AS NEEDED TO PERFORM UNDERGROUND WORK.
- NEW SIDEWALK TO BE FLUSH WITH EXISTING AND SLOPED TO DRAIN AS TO NOT CREATE ANY AREAS OF POOLING. MAX CROSS SLOPE = 1/4"/FT.
- NEW SIDEWALK TO MAINTAIN HANDICAP ACCESSIBILITY STANDARDS.

THE SITE WILL BE CLOSED TO THE PUBLIC DURING CONSTRUCTION. THE GC IS RESPONSIBLE FOR SECURING ITEMS LEFT ON SITE. IF NEEDED A STORAGE UNIT MAY BE PLACED ONSITE FOR SECURE STORAGE. THE LOCATION SHALL BE DETERMINED BY THE ENGINEER.

1 SITE PLAN
SCALE: 1/16" = 1'-0"



BID SET 5.1.23
WBS: 15RE.13.3
SCO ID# 21-24079-01A

PROJECT TITLE
BRUNSWICK CTY VISTOR'S CENTER
394 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

PROJECT NO.
2104a

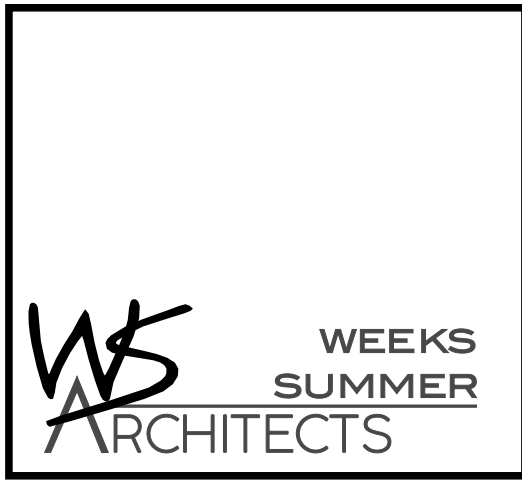
DRAWING TITLE
SITE PLAN
LIFE SAFETY PLAN

SHEET 2 OF 13

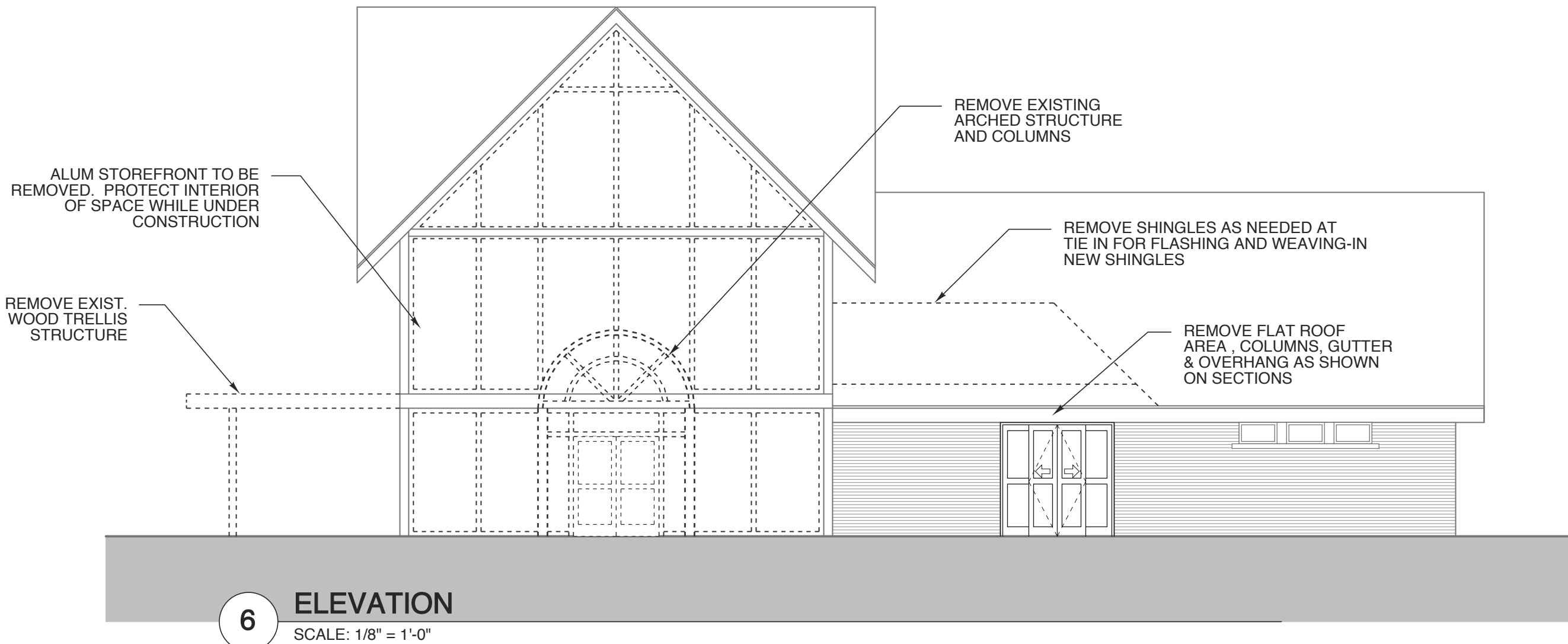
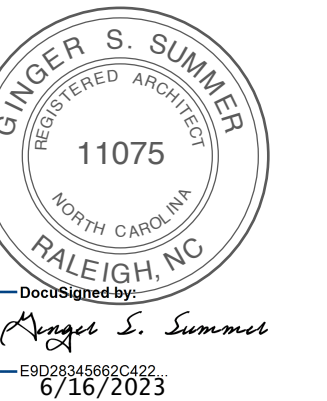
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PLOT DATE 6/16/23
REVISION 00/00/14

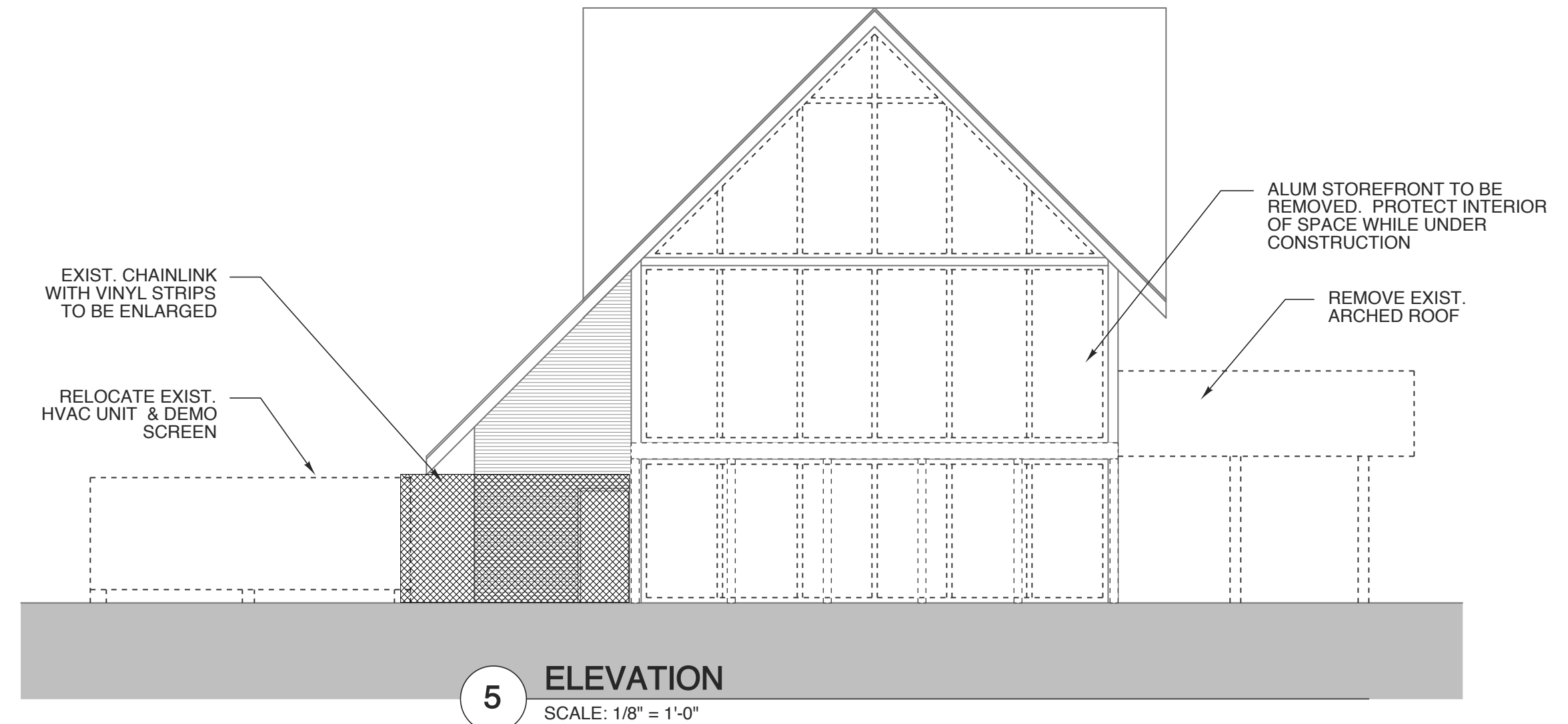
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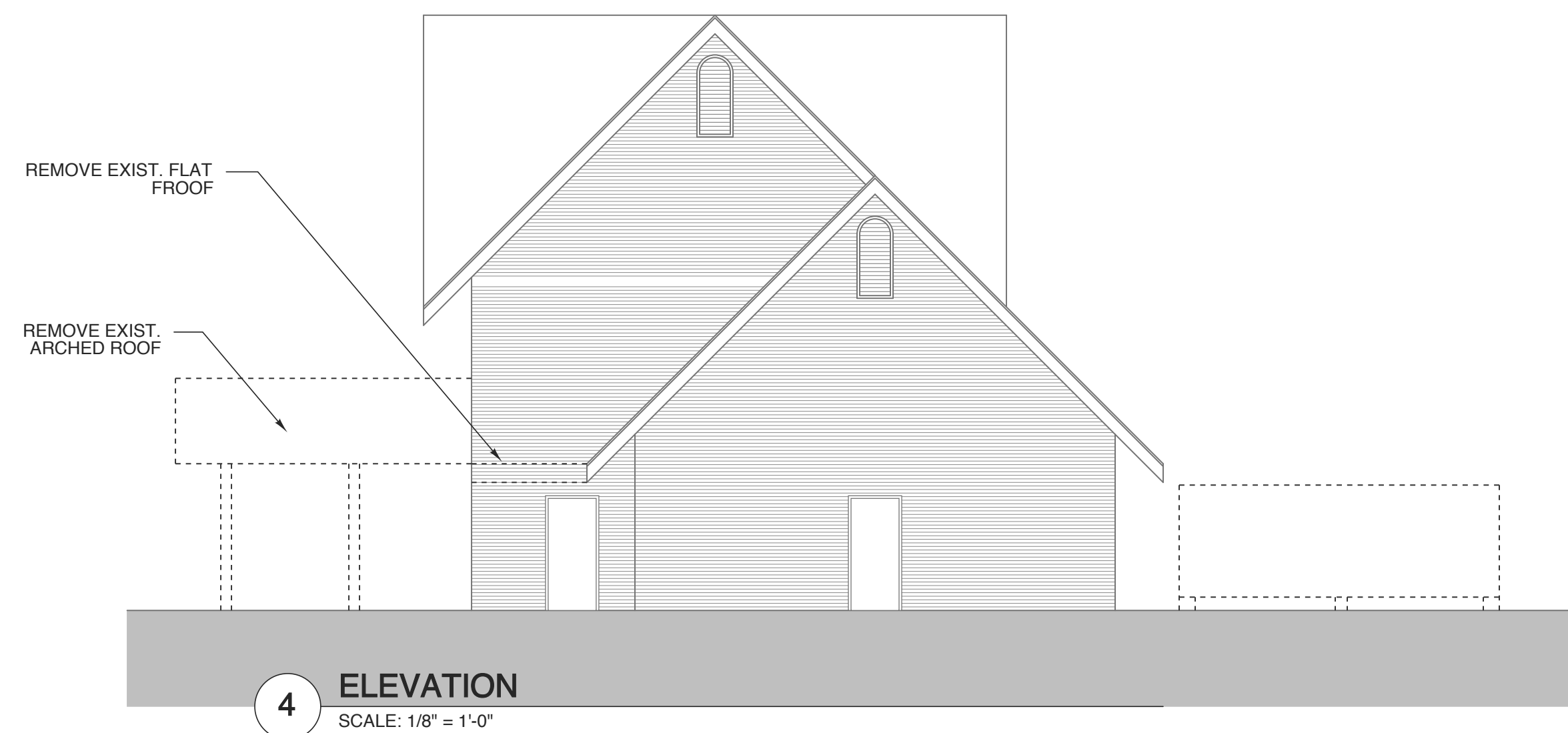
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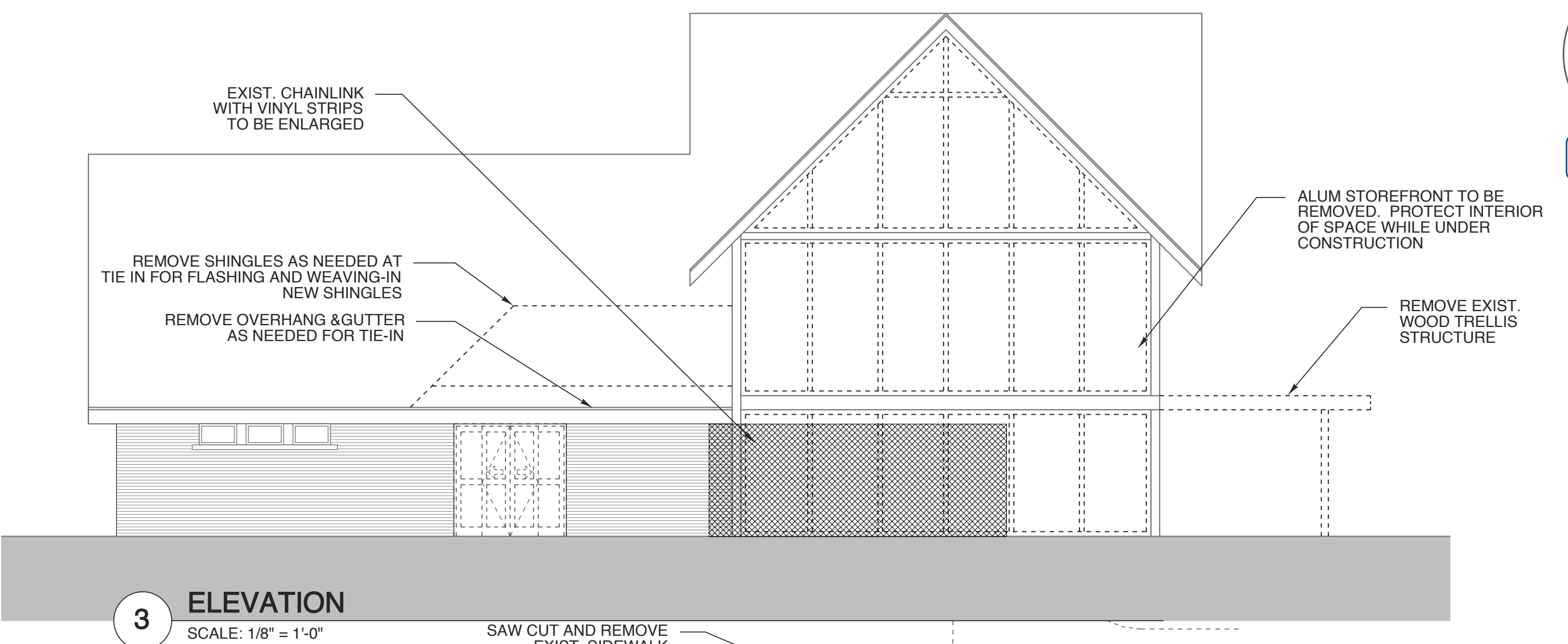
6 ELEVATION
SCALE: 1/8" = 1'-0"



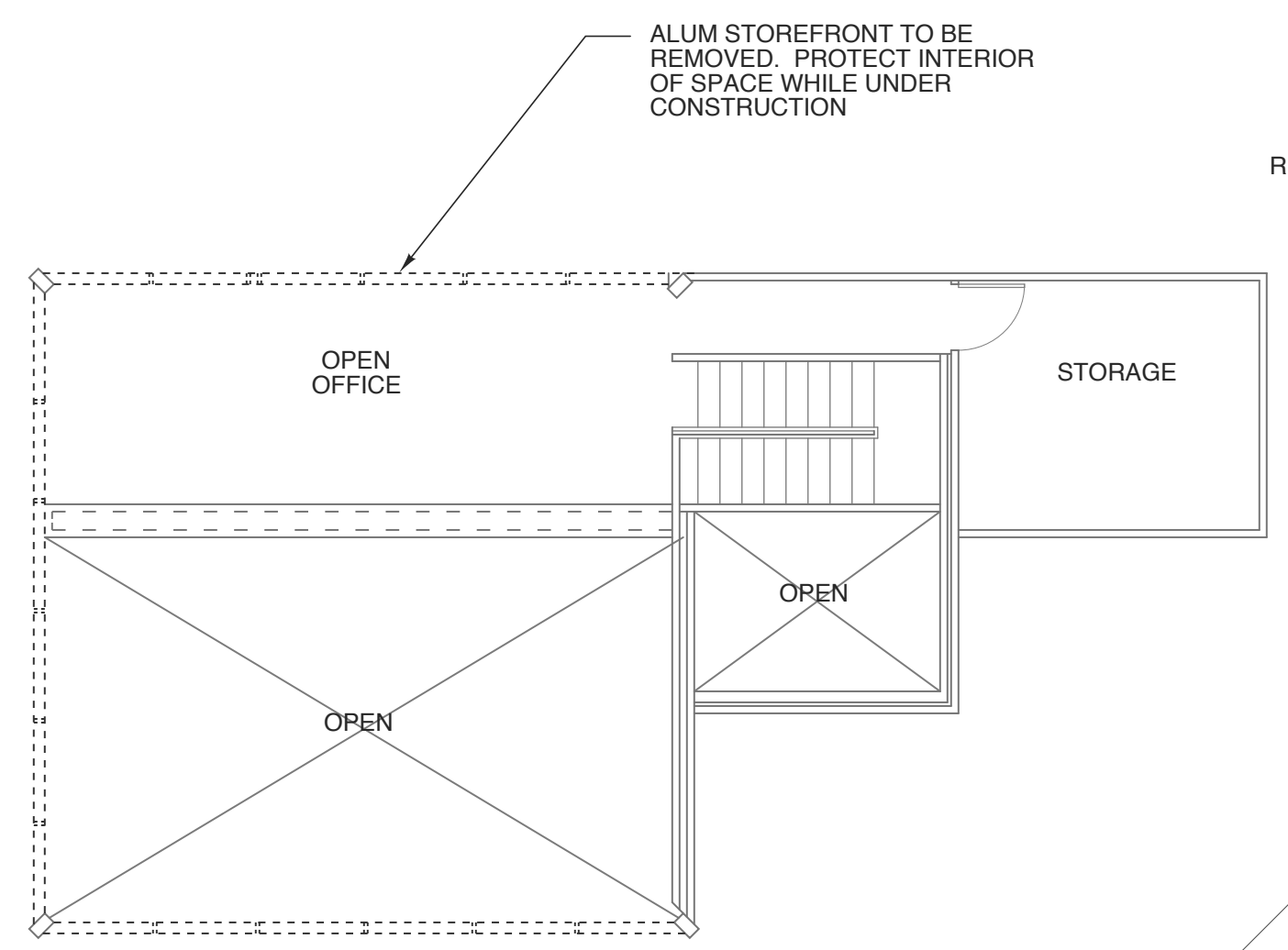
5 ELEVATION
SCALE: 1/8" = 1'-0"



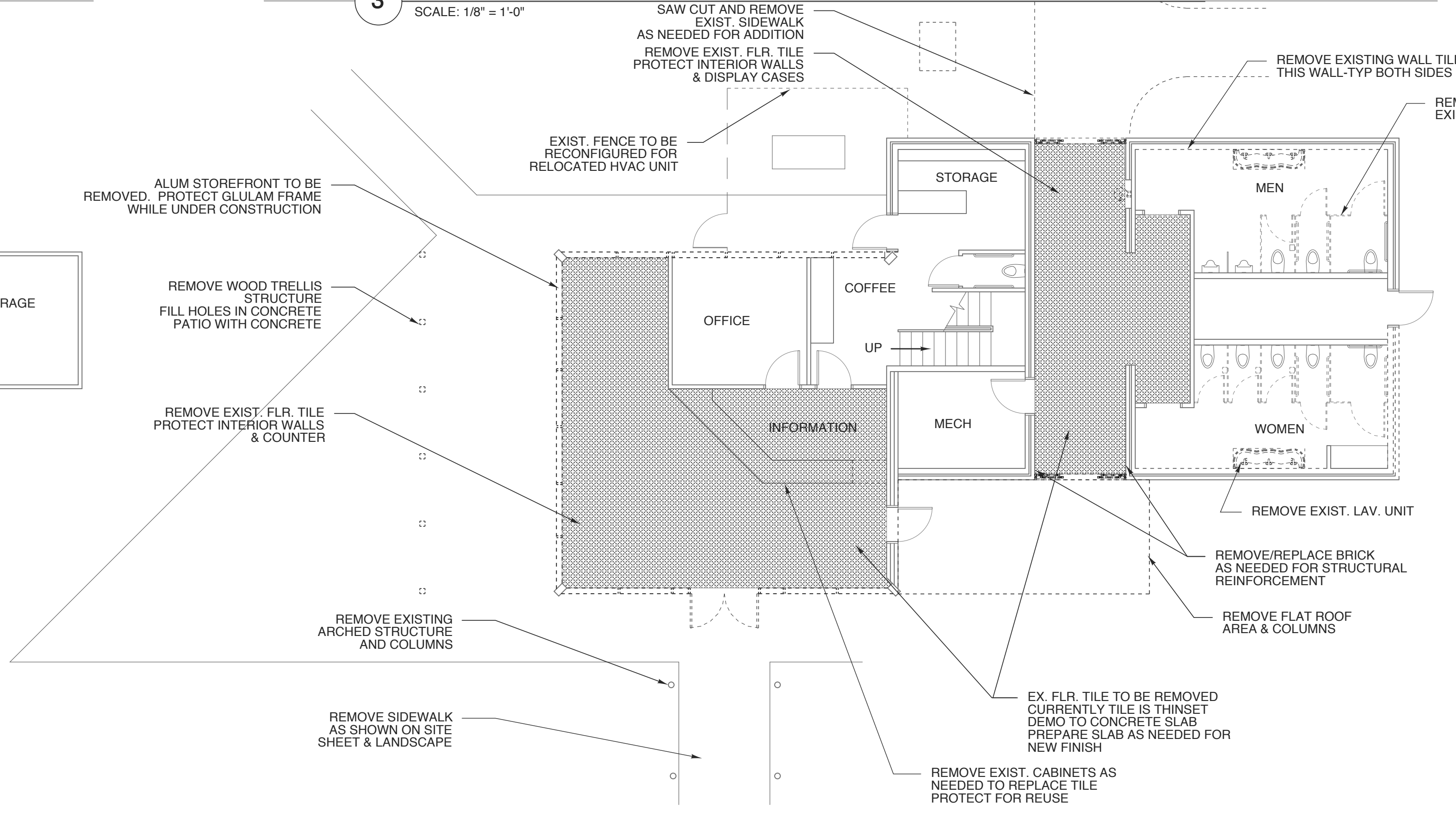
4 ELEVATION
SCALE: 1/8" = 1'-0"



3 ELEVATION
SCALE: 1/8" = 1'-0"



2 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION & CONSTRUCTION NOTES

ALL MATERIALS SHALL BE NEW AND OF QUANTITY SPECIFIED, EXCEPT WHERE RECLAIMED MATERIAL IS INDICATED FOR USE. WORKMANSHIP SHALL AT ALL TIMES BE OF A GRADE ACCEPTED AS THE BEST PRACTICE OF THE PARTICULAR TRADE INVOLVED, AND AS STIPULATED IN WRITTEN STANDARDS OF RECOGNISED ORGANIZATIONS OR INSTITUTES OF THE RESPECTIVE TRADES EXCEPT AS EXCEEDED OR QUALIFIED BY THE SPECIFICATIONS.

ITEMS RESULTING FROM THE DEMOLITION AND ITEMS WHICH ARE NOT TO BE RETURNED TO THE OWNER AS NOTED IN THE CONTRACT DOCUMENTS, SHALL BE REMOVED FROM THE SITE, AS THE WORK PROGRESSES, AND DISPOSED OF IN A LEGAL MANNER.

THE CONTRACTOR SHALL REVIEW EACH PHASE OF THE WORK PRIOR TO PROCEEDING WITH THE WORK AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS THAT WILL RESULT IN CHANGES TO THE WORK.

THE EXISTING STRUCTURE SHALL NOT BE ALTERED EXCEPT AS INDICATED IN THE CONTRACT DOCUMENTS. DO NOT CUT, NOTCH, BLOCK OR RELOCATE STRUCTURAL MEMBERS WITHOUT PRIOR APPROVAL OF THE ENGINEER OR ARCHITECT.

AREA OUTSIDE OF AREA OF WORK TO REMAIN CLEAR AND CLEAN OF DEBRIS, EQUIPMENT ETC. AT ALL TIMES.

THE SITE WILL BE CLOSED TO VISITORS WHILE UNDER CONSTRUCTION.

IF CONSTRUCTION REQUIRES AN INTERRUPTION OF SERVICES TO THE BUILDING, THE OWNER AND ARCHITECT SHALL BE NOTIFIED AND AN APPROPRIATE TIMING WILL BE AGREED UPON.

BID SET 5.1.23
WBS: 15RE.13.3
SCO ID# 21-24079-01A

PROJECT TITLE
BRUNSWICK CTY VISTOR'S CENTER
394 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

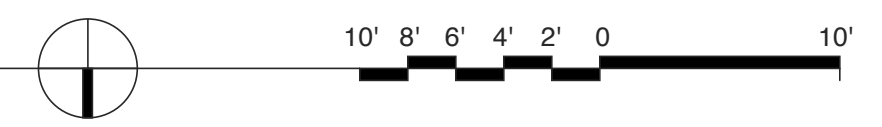
PROJECT NO.
2104a
DRAWING TITLE
DEMO PLAN & ELEV

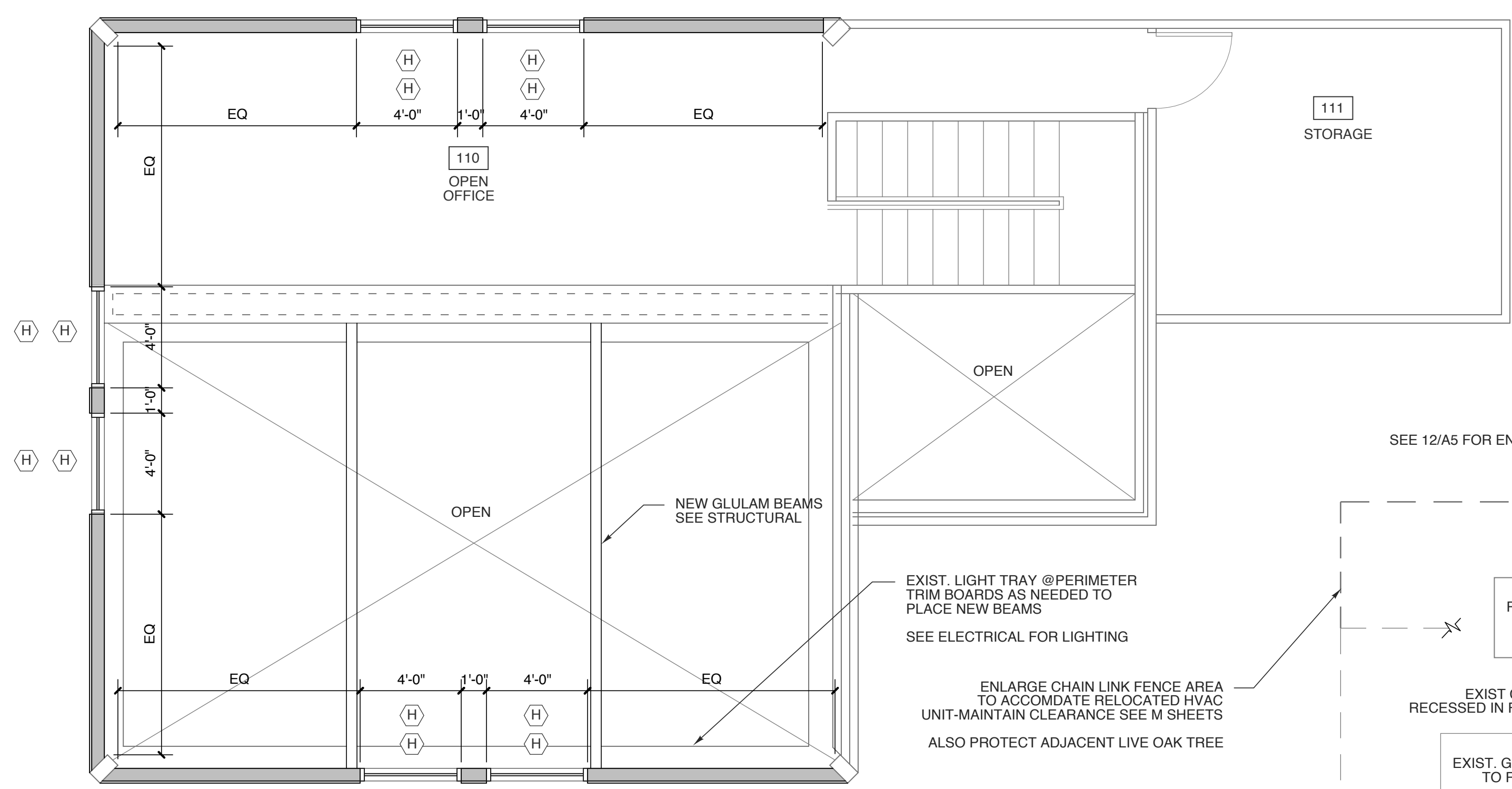
SHEET 3 OF 132

A1.1

PLOT DATE 6/16/23
REVISION 00/00/14

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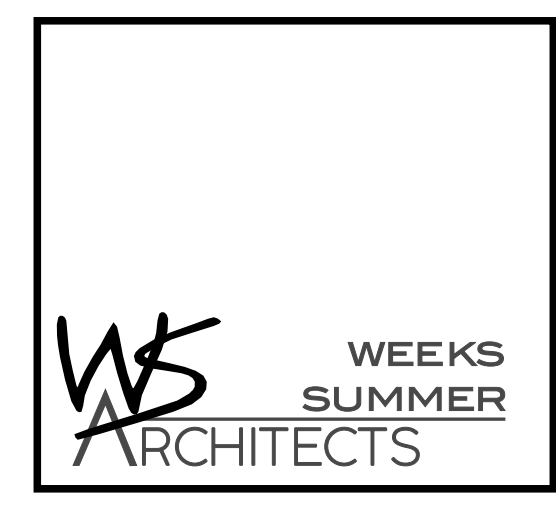




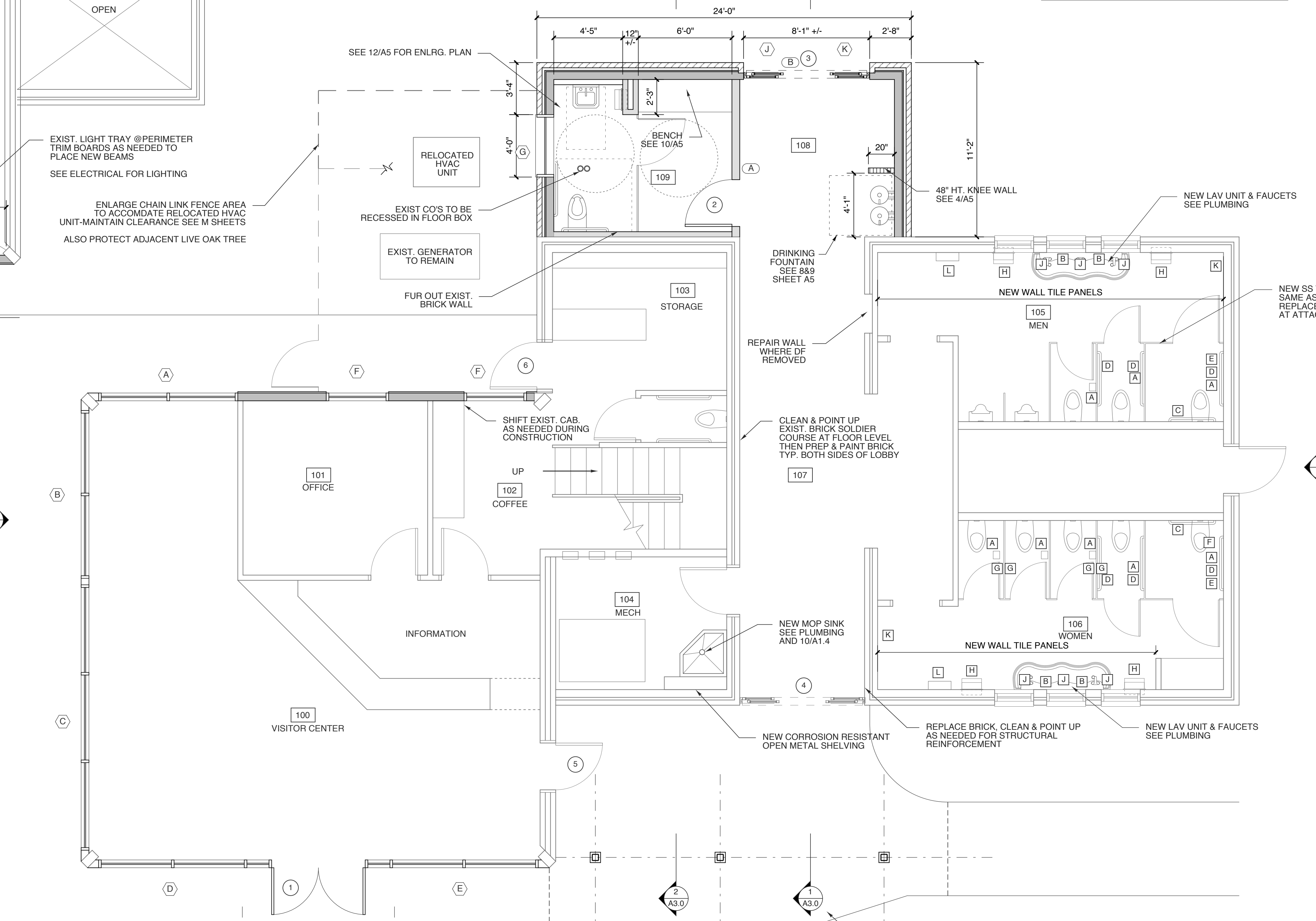
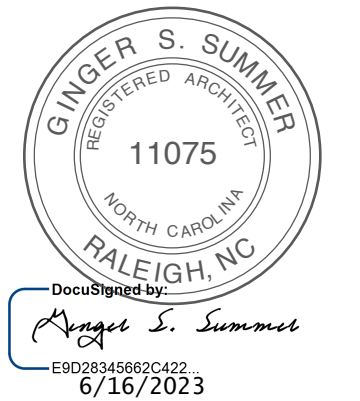
2 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SIGNAGE LEGEND	
(A)	FAMILY-1 PC. MILLED ALUM PER 6/A5
(B)	RESTROOM-INDIVIDUAL LETTERS 5/A5 (8")

- NOTES**
1. CONTRACTOR TO SUPPLY ALL BLOCKING NEEDED TO SUPPORT REQUIRED RESTROOM ITEMS UNLESS OTHERWISE NOTED OR STATED PER MANF.
 2. VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURERS REQUIREMENTS
 3. SEE SHEETS A4.1 FOR MORE REQ. CLEARANCES
 4. SEE SHEETS A4.2 FOR INTERIOR ELEVATIONS
 5. SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR EQUIPMENT LOCATIONS.
 6. SEE DETAIL 10/A4.1 FOR TILE LEGEND OF INTERIOR ELEVATIONS



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1 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND	
	EXIST. BRICK VENEER WALL TO REMAIN
	EXIST. INTERIOR WALL TO REMAIN
	NEW BRICK VENEER WALL
	NEW INTERIOR WALL
	NEW EXTERIOR WALL W/ COMP. SIDING

BID SET 5.1.23
WBS: 15RE.13.3
SCO ID# 21-24079-01A

PROJECT TITLE
BRUNSWICK CTY VISTOR'S CENTER
394 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

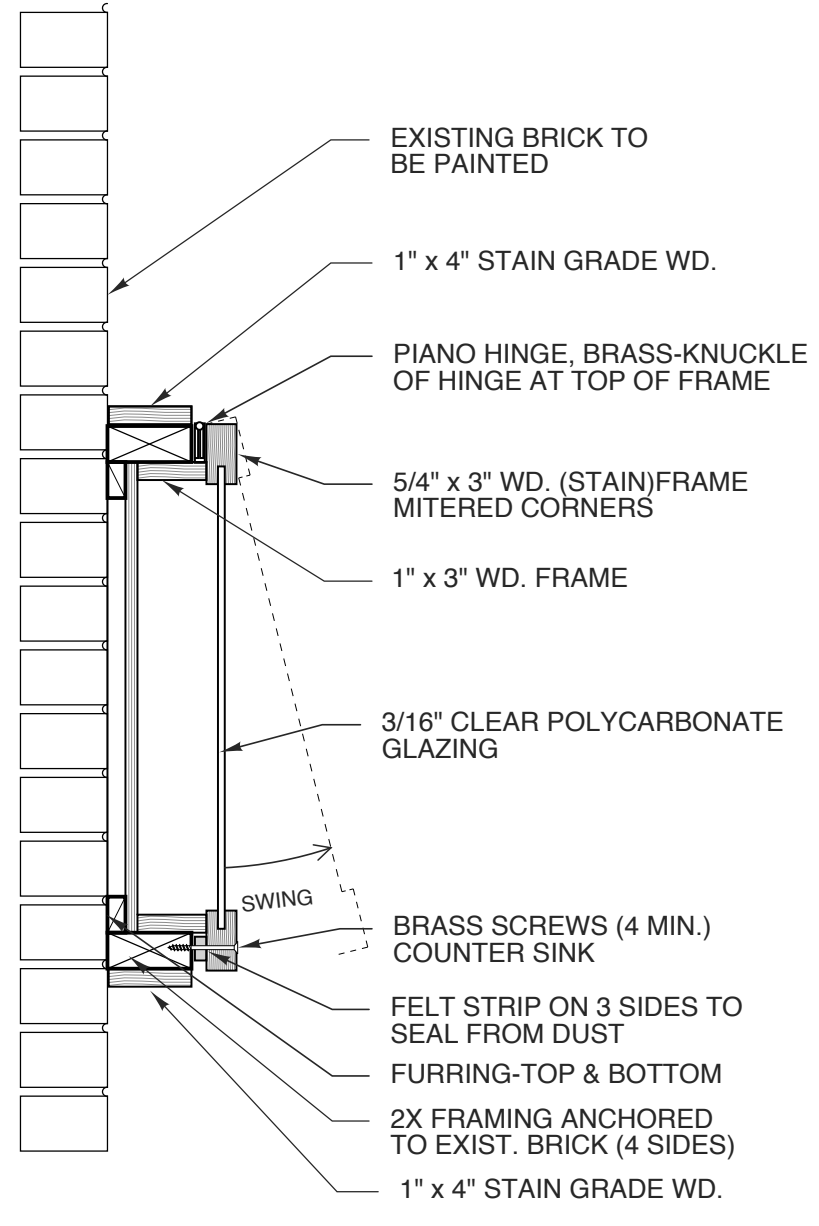
PROJECT NO.
2104a
DRAWING TITLE
FLOOR PLAN

SHEET 4 OF 12

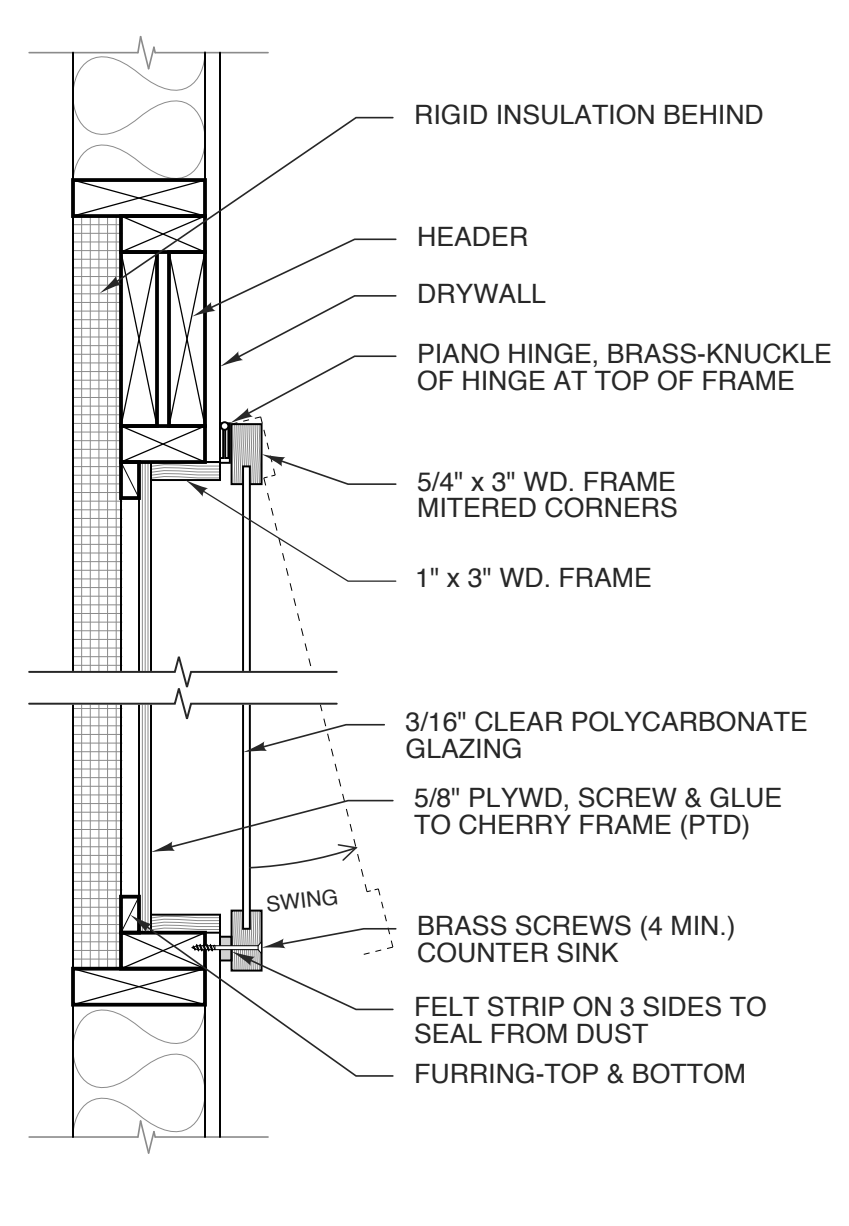
A1.2

PLOT DATE 6/16/23
REVISION 00/00/00

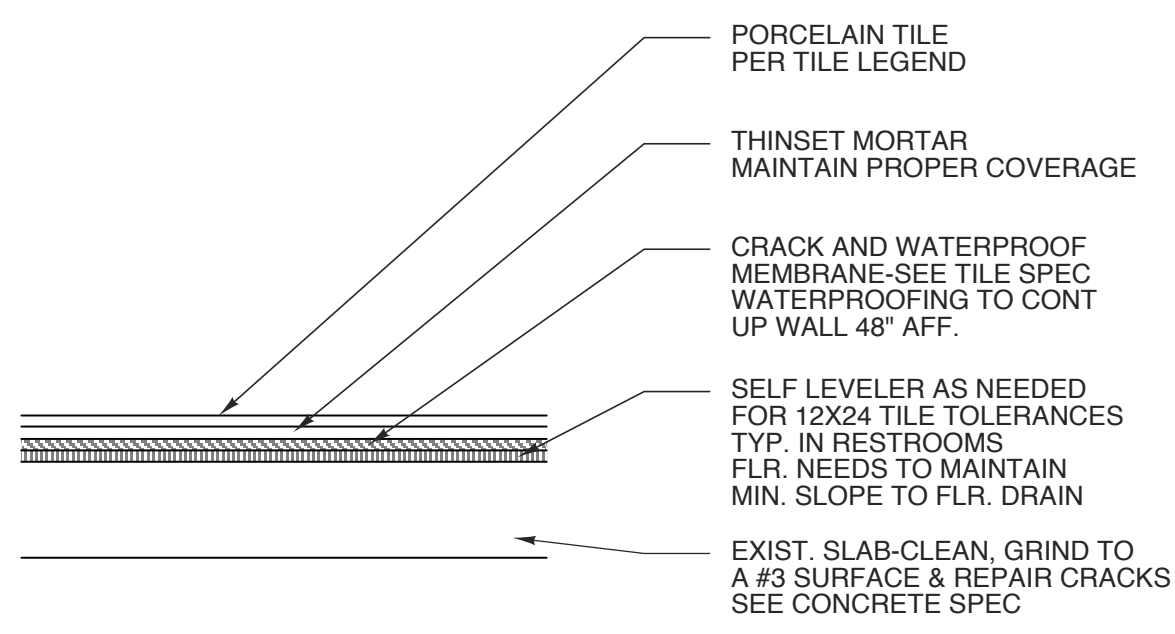
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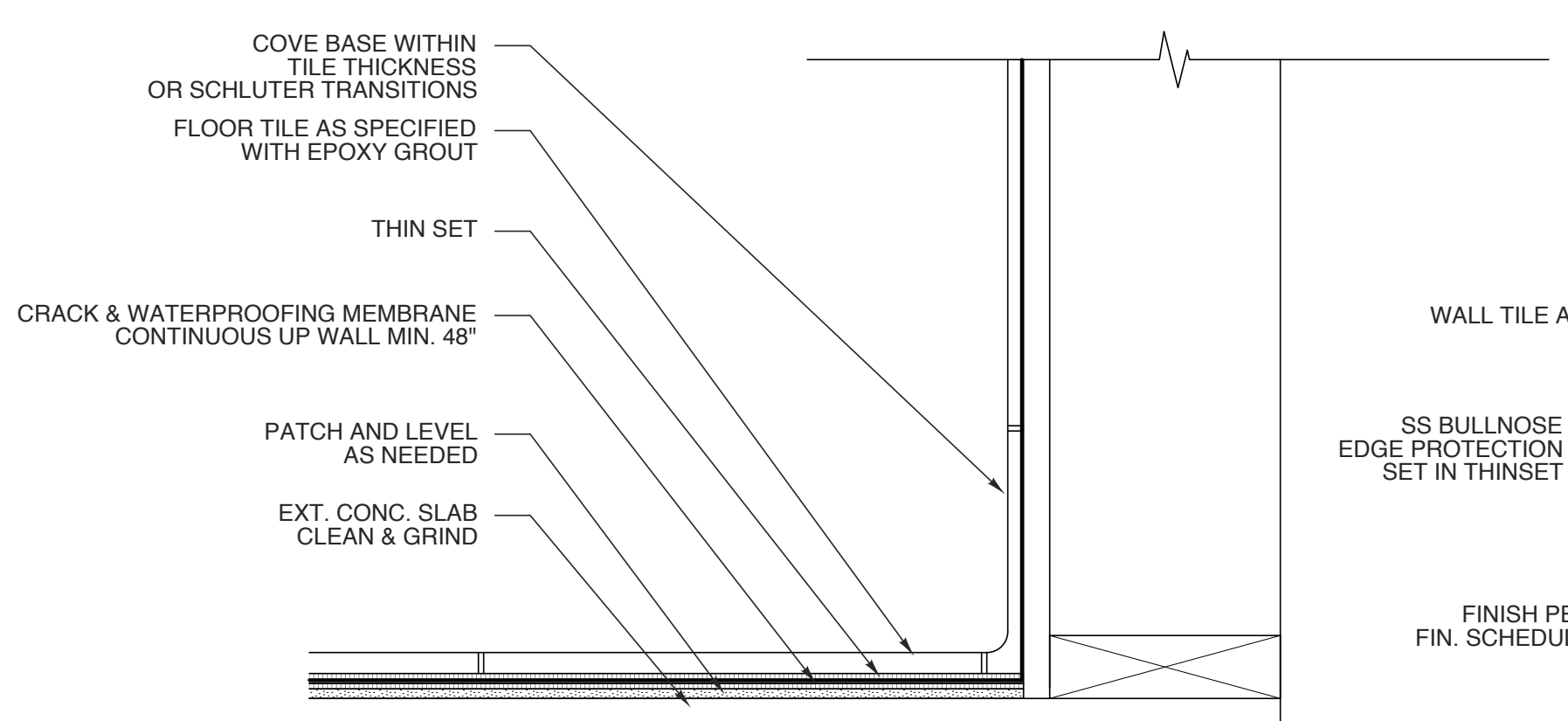
6 DISPLAY DETAIL
SCALE: 1 1/2" = 1'-0"



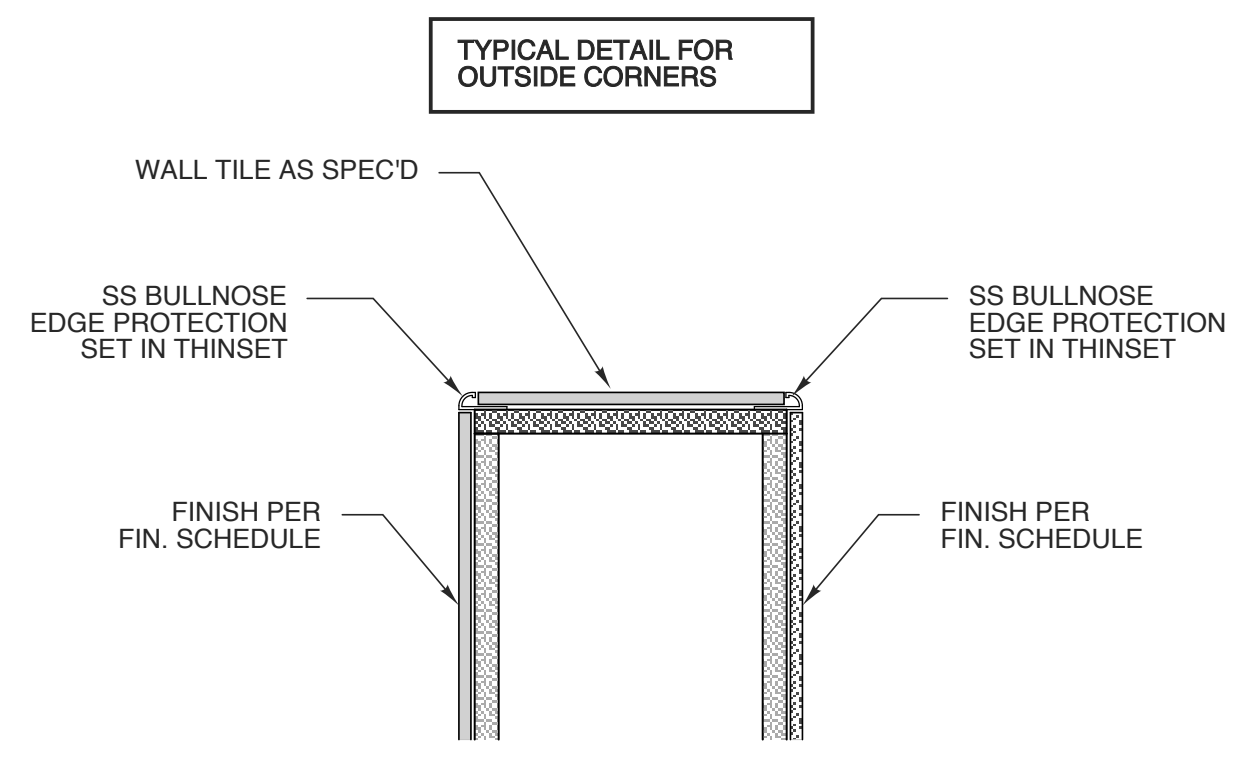
5 DISPLAY DETAIL
SCALE: 1 1/2" = 1'-0"



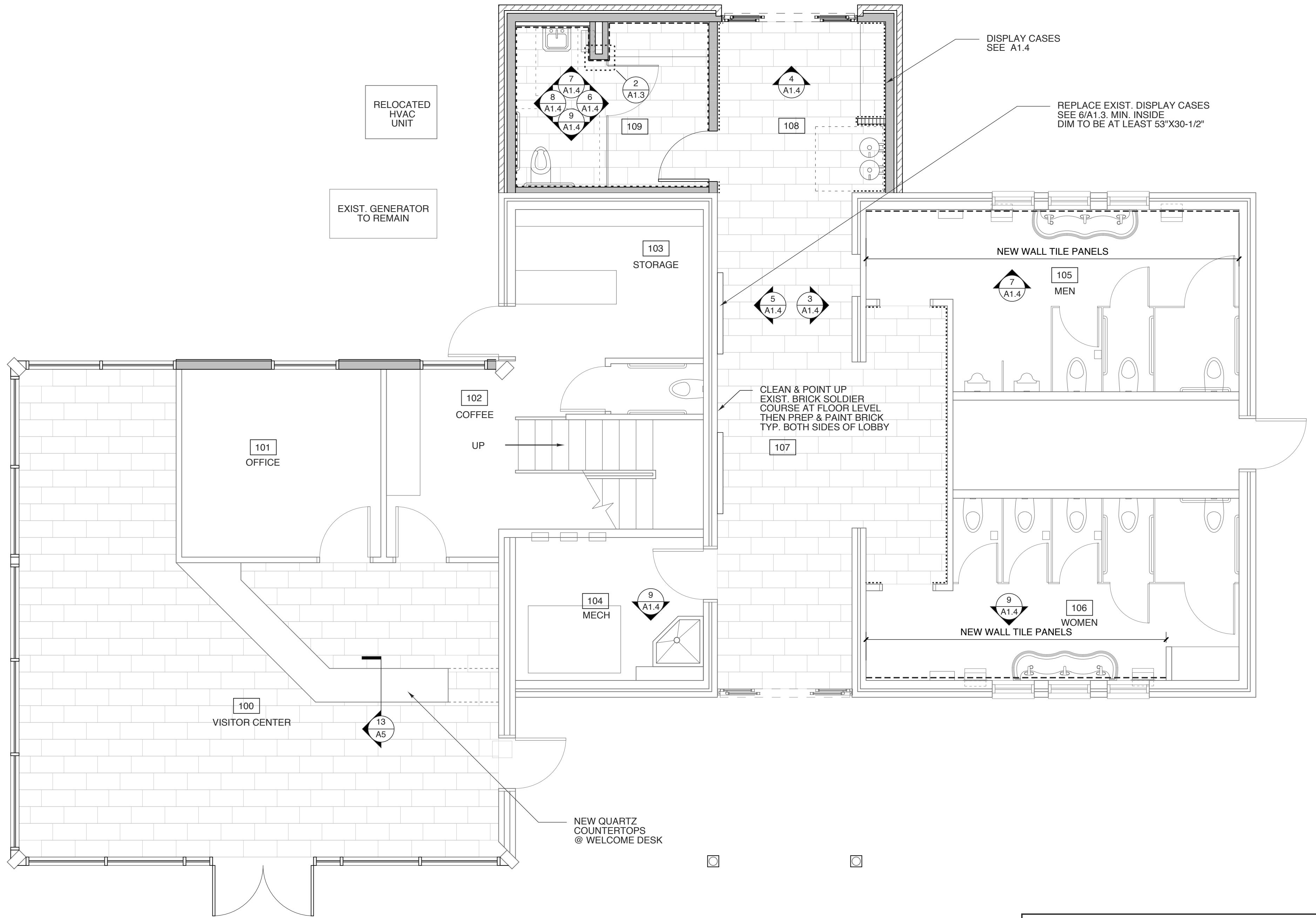
4 SLAB REPAIR/PREP
SCALE: NTS



3 FLOOR TILE DETAIL
SCALE: 3" = 1'-0"



2 OUTSIDE CORNER/END WALL
SCALE: NTS

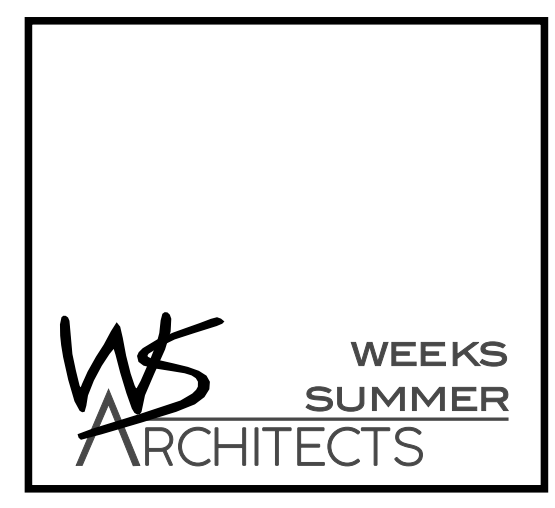


1 FINISH PLAN
SCALE: 1/4" = 1'-0"

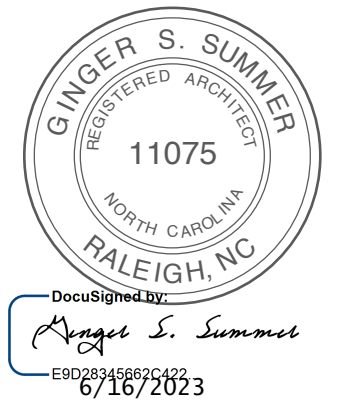
MARK	ROOM NAME	FLOOR	BASE	WALL				WAINSCOT	CEILING MATERIAL	REMARKS / NOTES
				N	E	S	W			
100	VISITOR CENTER	POR. TILE	POR. TILE	PAINT EXIST. & NEW				---	exist.	---
101	OFFICE	exist.	exist.	PAINT NEW WALLS				---	exist.	---
102	COFFEE	exist.	exist.	PAINT NEW WALLS				---	exist.	---
103	STORAGE	exist.	exist.	---				---	exist.	---
104	MECHANICAL	exist.	exist.	---				---	exist.	---
105	MEN	exist.	exist.	PAINT EXIST.	72" HT. TILE @ SINK WALL			---	PAINT EXIST.	---
106	WOMEN	exist.	exist.	PAINT EXIST.	72" HT. TILE @ SINK WALL			---	PAINT EXIST.	---
107	EXIST. LOBBY	POR. TILE	POR. TILE	CLEAN & PAINT EXIST. INCL. BRICK	---			---	PAINT EXIST. PATCH AS NEEDED	PAINT AT ENTRY TO RESTROOMS
108	NEW LOBBY	POR. TILE	POR. TILE	PAINT NEW	48" HT. POR. TILE			PTD. DRYWALL	---	SCHULTER RONDEC TRIM AT TOP OF WAINSCOT
109	FAMILY ROOM	POR. TILE	POR. TILE	WALL TILE				---	PTD. DRYWALL	---
110	OPEN OFFICE	exist.	exist.	PAINT NEW				---	exist.	---
111	UPSTAIRS STORAGE	exist.	exist.	---				---	exist.	---

TILE LEGEND
FLOOR BEST TILE, STAX, TAUPE, 12 X 24 IN LIEU OF TILE COVE BASE USE SCHULTER DILEX-EHK & RONDEC WITH HALF FLOOR TILE FOR 6" BASE EPOXY GROUT (LATICRETE-24 NATURAL GREY)
SINK WALL STONEPEAK PLANE CALACATTA MACCHIATO 60X60 PLANE
TYP. WALL SOHO RUMBA IVORY, GLOSSY CERAMIC 3X12 VERTICAL ORIENTATION GROUT SAME AS FLOOR GROUT COLOR
WAINSCOT TULLIA BRONZE 6x36 EPOXY GROUT (LATICRETE-24 NATURAL GREY)

- TILE NOTES**
- WALL TILE TO BE APPLIED TO CEMENT BOARD AS RECOMMENDED BY MANUFACTURER
 - GROUT JOINTS TO BE 1/8".
 - ALL GROUT TO BE EPOXY. CLEAN RESIDUE IN SMALL AREAS CLEAN SUCH THAT NO HAZE TO REMAIN.
 - CAULK ALL INSIDE CORNERS AT TILE
 - MAINTAIN EXIST. CONTROL JTS. IN TILE.
 - STAGGER TILE PATTERN AT 1/3 TILE LENGTH.
 - PLAN LAYOUT TO MINIMIZE TILES LESS THAN 1" LAYOUT ON PLAN FOR REFERENCE ONLY
 - LIPPAGE TOLERANCE IS 1/32". KEEP TO MINIMUM.



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BID SET 5.1.23
WBS: 15RE.13.3
SCO ID# 21-24079-01A

PROJECT TITLE
BRUNSWICK CTY VISTOR'S CENTER
394 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

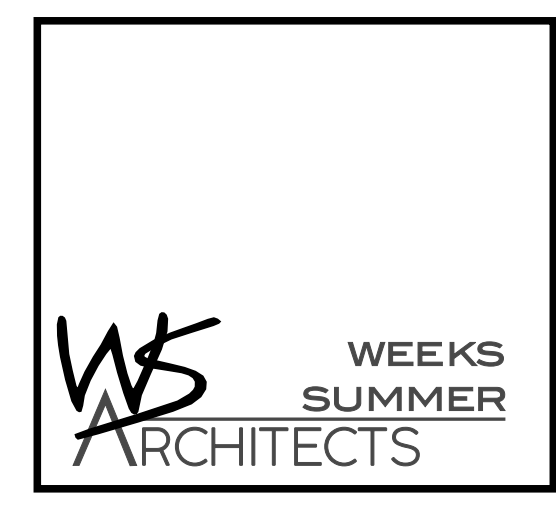
PROJECT NO.
2104a
DRAWING TITLE
FINISH PLAN

SHEET 5 OF 13

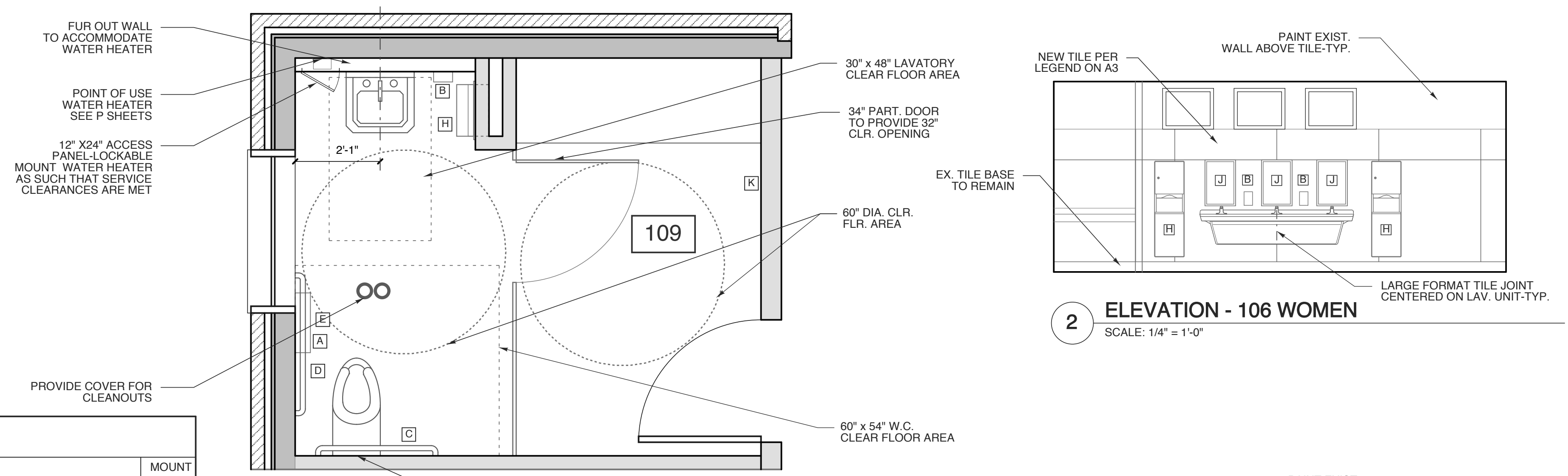
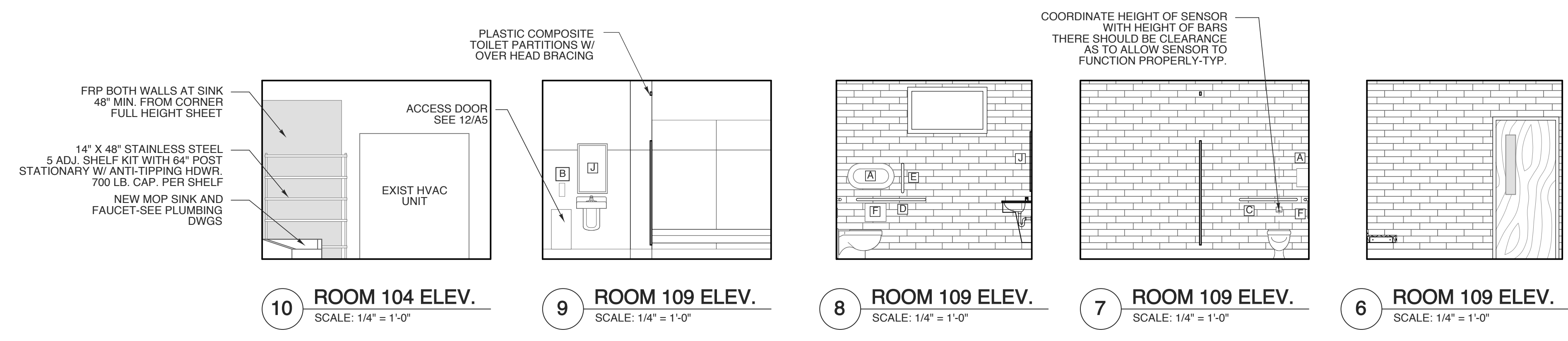
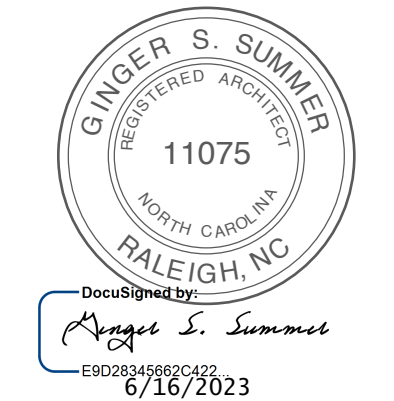
A1.3

PLOT DATE 6/18/23
REVISION 00/00/00

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TOILET ACCESSORY SCHEDULE					
MARK	ITEM	MOUNT	MARK	ITEM	MOUNT
A	SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER (B-2892)	28" MIN. 48" MAX. A.F.S.	H	RECESSED FOLDED PAPER TOWEL DISP. AND WASTE RECEPTACLE (B-43944)	RE. ELEV.
B	AUTOMATIC HANDS FREE LIQUID SOAP DISPENSER (AJW U135 EA)	42" MAX. A.F.S.	J	WELDED FRAME MIRROR (B-2908-1828)	RE. ELEV.
C	36" HORIZONTAL GRAB BAR (B-6806.99 X 36)	33"-36" A.F.S.	K	WELDED FRAME MIRROR (B-2908-1860)	RE. ELEV.
D	42" HORIZONTAL GRAB BAR (B-6806.99 X 42)	33"-36" A.F.S.	L	AUTOMATIC HAND DRYER EXCEL THIN AIR TA-SB	48" A.F.S.
E	18" VERTICAL GRAB BAR (B-6806.99 X 18)	RE. ELEV.	M	SS MOP & BROOM HOLDER (B-223 X 24)	60"-72" A.F.S.
F	RECESSED SANITARY NAPKIN DISPOSAL (B-4353)	25"-30" A.F.S.			
G	PARTITION MOUNTED SANITARY NAPKIN DISPOSAL (B-4354)	25"-30" A.F.S.			

MANUFACTURER: BOBRICK WASHROOM EQUIPMENT U.N.O. OR APPROVED EQUAL-SEE SPECIFICATION
FINISH: SATIN STAINLESS STEEL

NOTE: GC TO INSTALL BLOCKING FOR ALL TOILET ACCESSORIES AND TOILET PARTITIONS AS REQ'D



BID SET 4.28.22
WBS: 15RE.13.3
SCO ID# 21-24079-01A

PROJECT TITLE
**BRUNSWICK CTY
VISTOR'S CENTER**
394 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

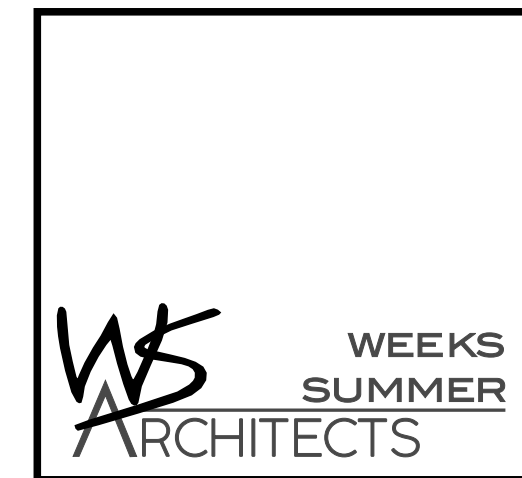
PROJECT NO.
2104a
DRAWING TITLE
INT. ELEVATIONS

SHEET 6 OF 12

A1.4

PLOT DATE 6/16/23
REVISION 00/00/00

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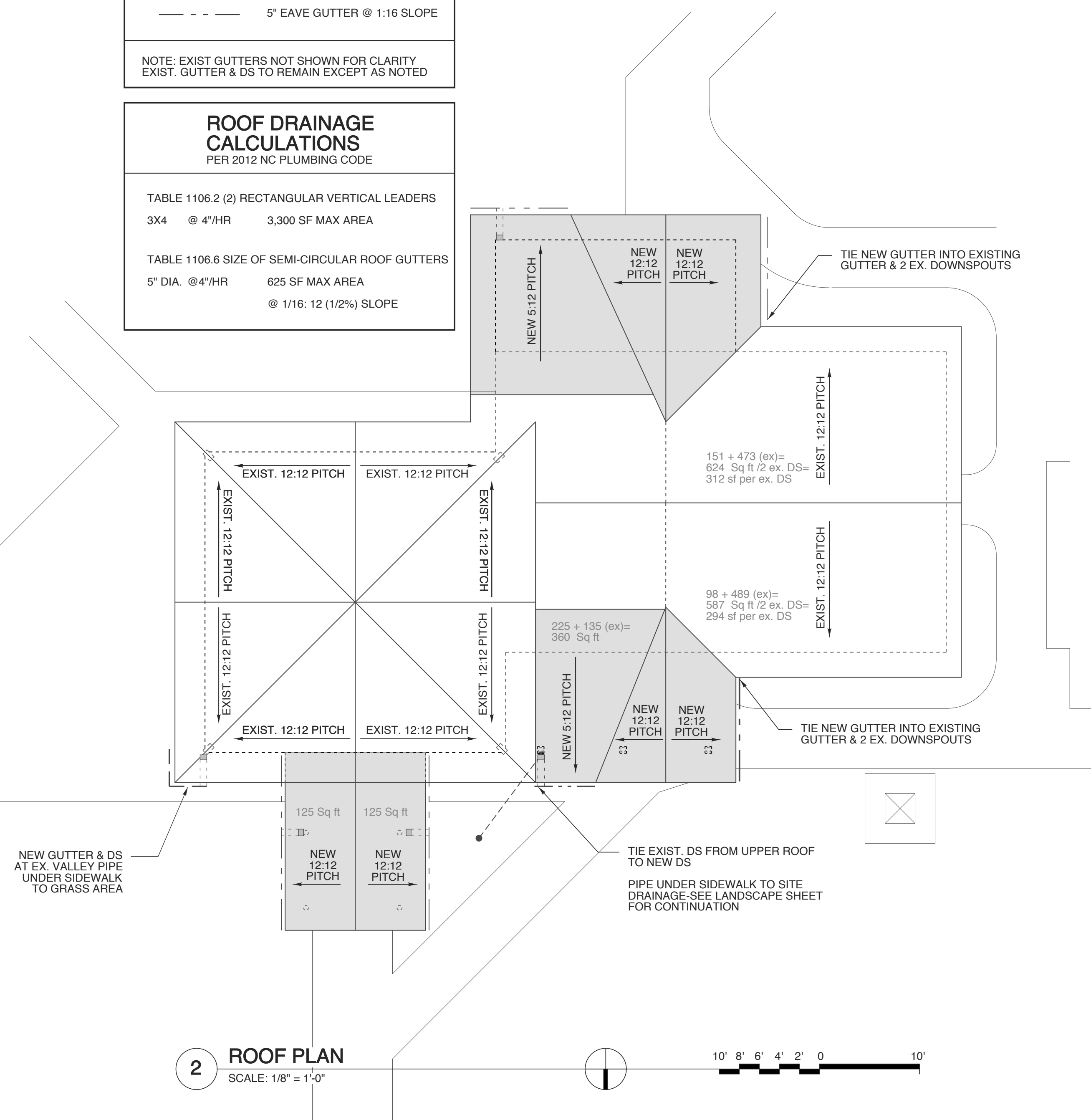


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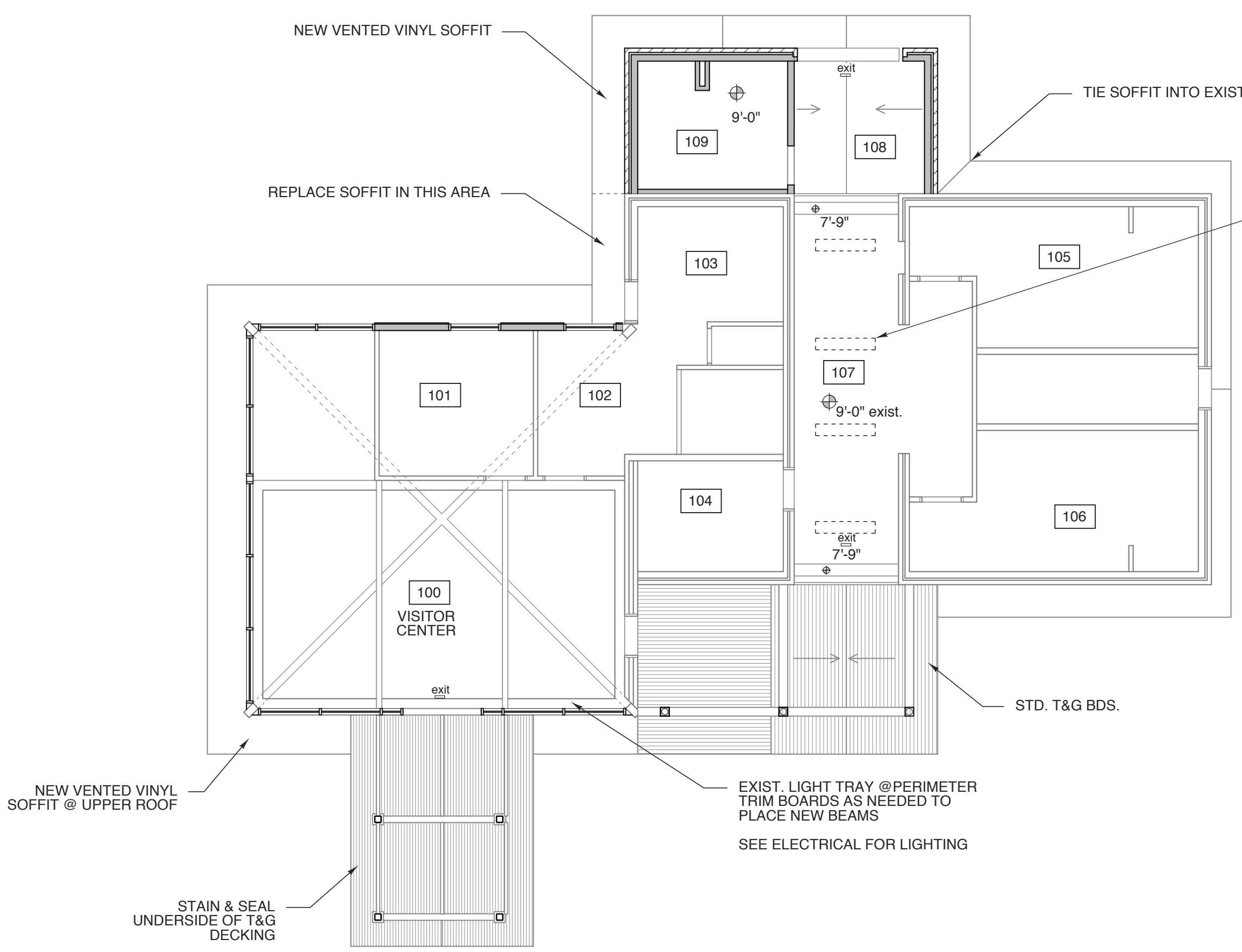


ROOF DRAINAGE LEGEND	
	3" x 4" VERTICAL LEADER
	5" EAVE GUTTER @ 1:16 SLOPE
NOTE: EXIST GUTTERS NOT SHOWN FOR CLARITY EXIST. GUTTER & DS TO REMAIN EXCEPT AS NOTED	

ROOF DRAINAGE CALCULATIONS PER 2012 NC PLUMBING CODE	
TABLE 1106.2 (2) RECTANGULAR VERTICAL LEADERS 3X4 @ 4"/HR	3,300 SF MAX AREA
TABLE 1106.6 SIZE OF SEMI-CIRCULAR ROOF GUTTERS 5" DIA. @ 4"/HR	625 SF MAX AREA @ 1/16: 12 (1/2%) SLOPE



2 ROOF PLAN
 SCALE: 1/8" = 1'-0"



1 RCP
 SCALE: 1/8" = 1'-0"

BID SET 5.1.23
 WBS: 15RE.13.3
 SCO ID# 21-24079-01A

PROJECT TITLE
BRUNSWICK CTY VISTOR'S CENTER
 394 WHITEVILLE ROAD NW
 SHALLOTE, NORTH CAROLINA

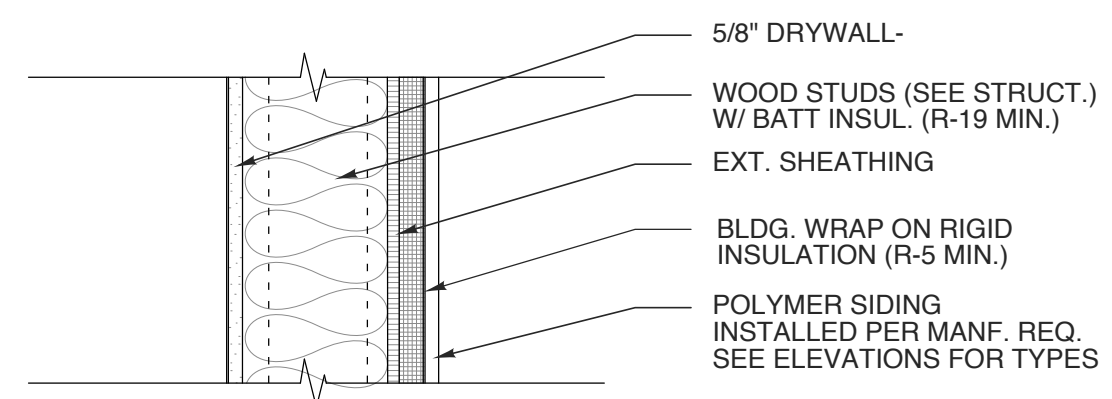
PROJECT NO.
2104a
 DRAWING TITLE
RCP & ROOF PLAN

SHEET 6 OF 12

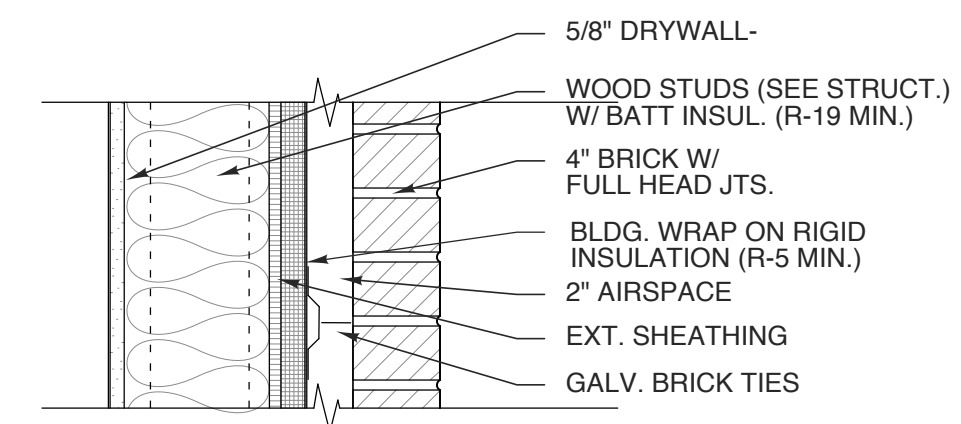
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PLOT DATE 6/16/23
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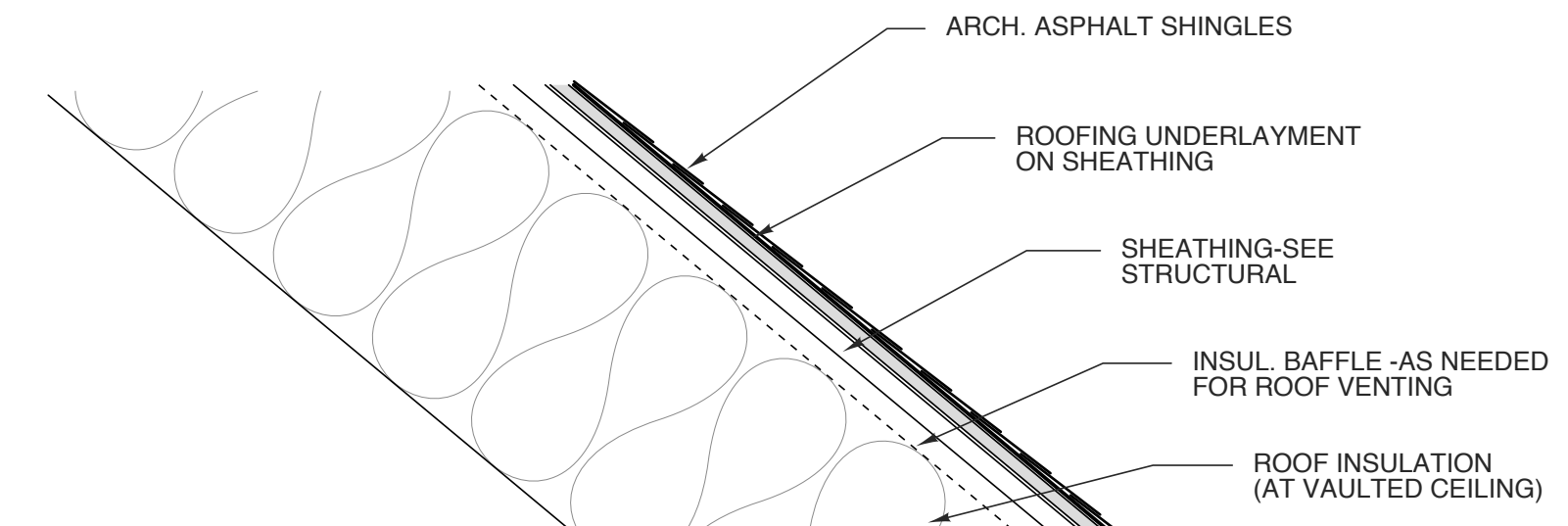


7 TYPICAL SIDING WALL
SCALE: 1 1/2" = 1'-0"



6 TYPICAL BRICK VENEER WALL
SCALE: 1 1/2" = 1'-0"

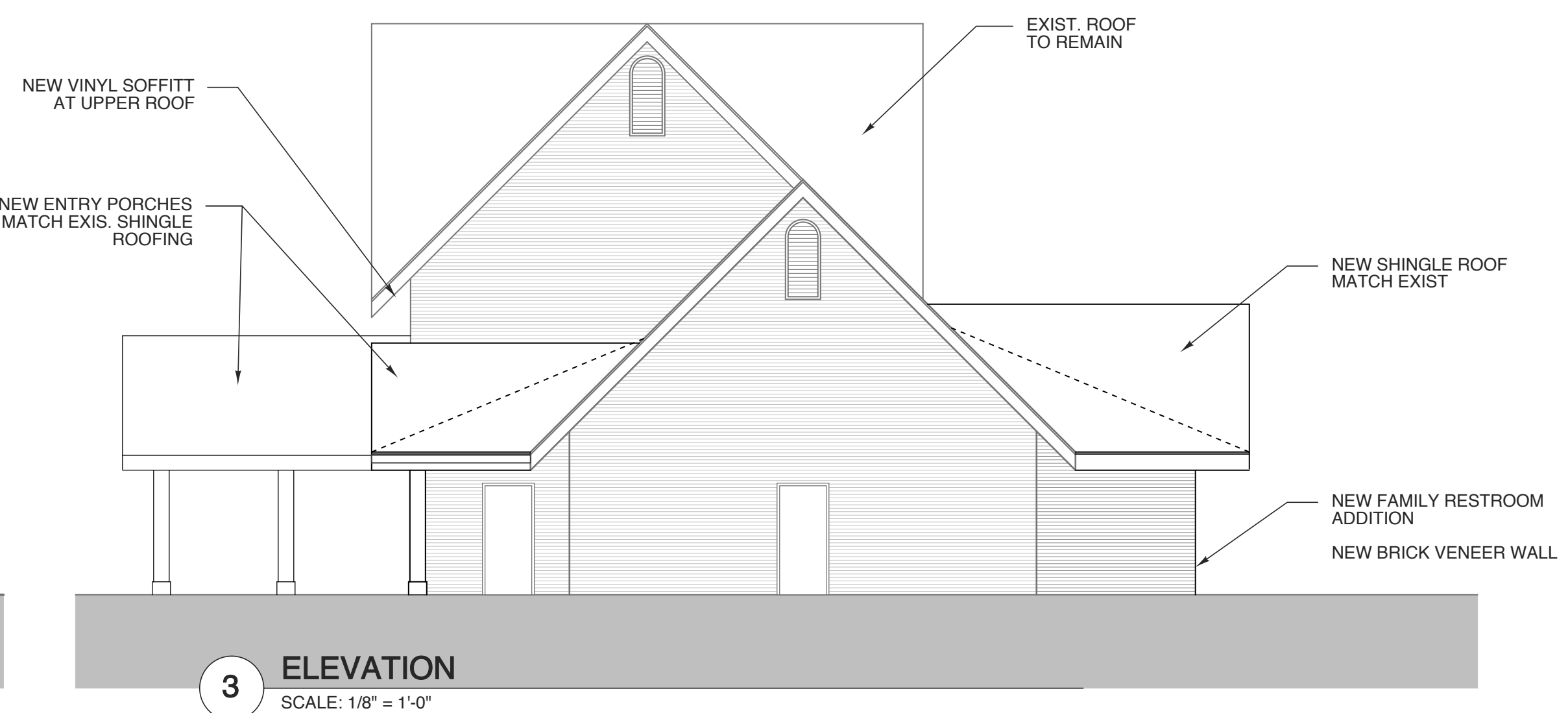
TYP. NOTE:
NEW BRICK TO MATCH EXIST. AS CLOSE AS POSSIBLE. TRIANGLE 'OLD SOUTH' OR APPROVED BEST MATCH. COLORED MORTAR TO MATCH AS WELL. CONTRACTOR TO PROVIDE SAMPLE PANEL FOR APPROVAL.



5 TYPICAL SHINGLE ROOF
SCALE: 1 1/2" = 1'-0"



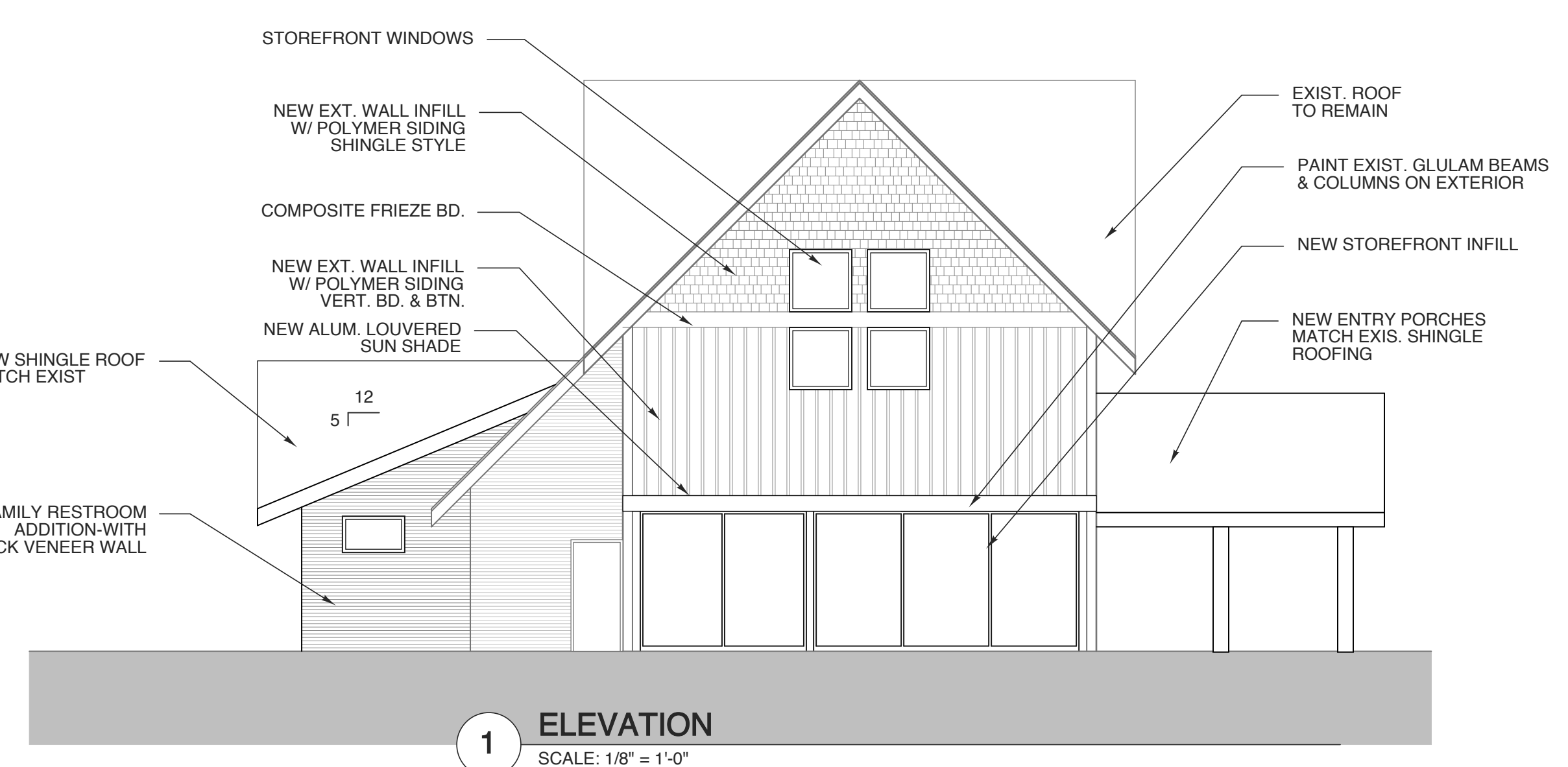
4 ELEVATION
SCALE: 1/8" = 1'-0"



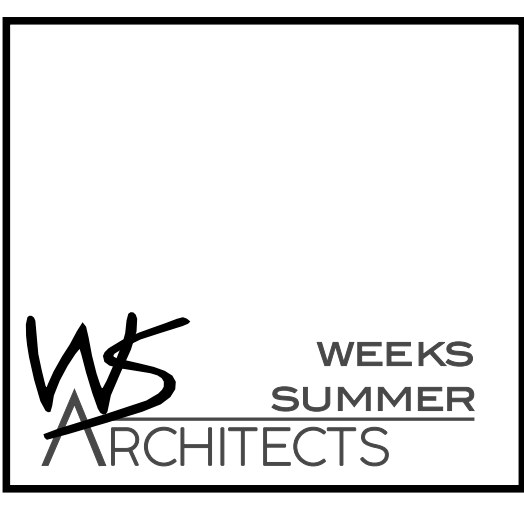
3 ELEVATION
SCALE: 1/8" = 1'-0"



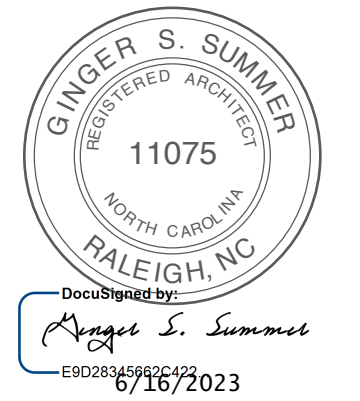
2 ELEVATION
SCALE: 1/8" = 1'-0"



1 ELEVATION
SCALE: 1/8" = 1'-0"



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WBS: 15RE.13.3
SCO ID# 21-24079-01A

PROJECT TITLE
BRUNSWICK CTY VISTOR'S CENTER
384 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

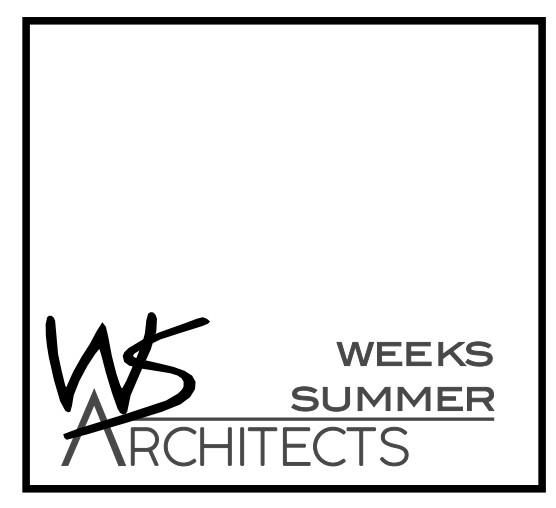
PROJECT NO.
2104a
DRAWING TITLE
ELEVATIONS

SHEET 7 OF 13

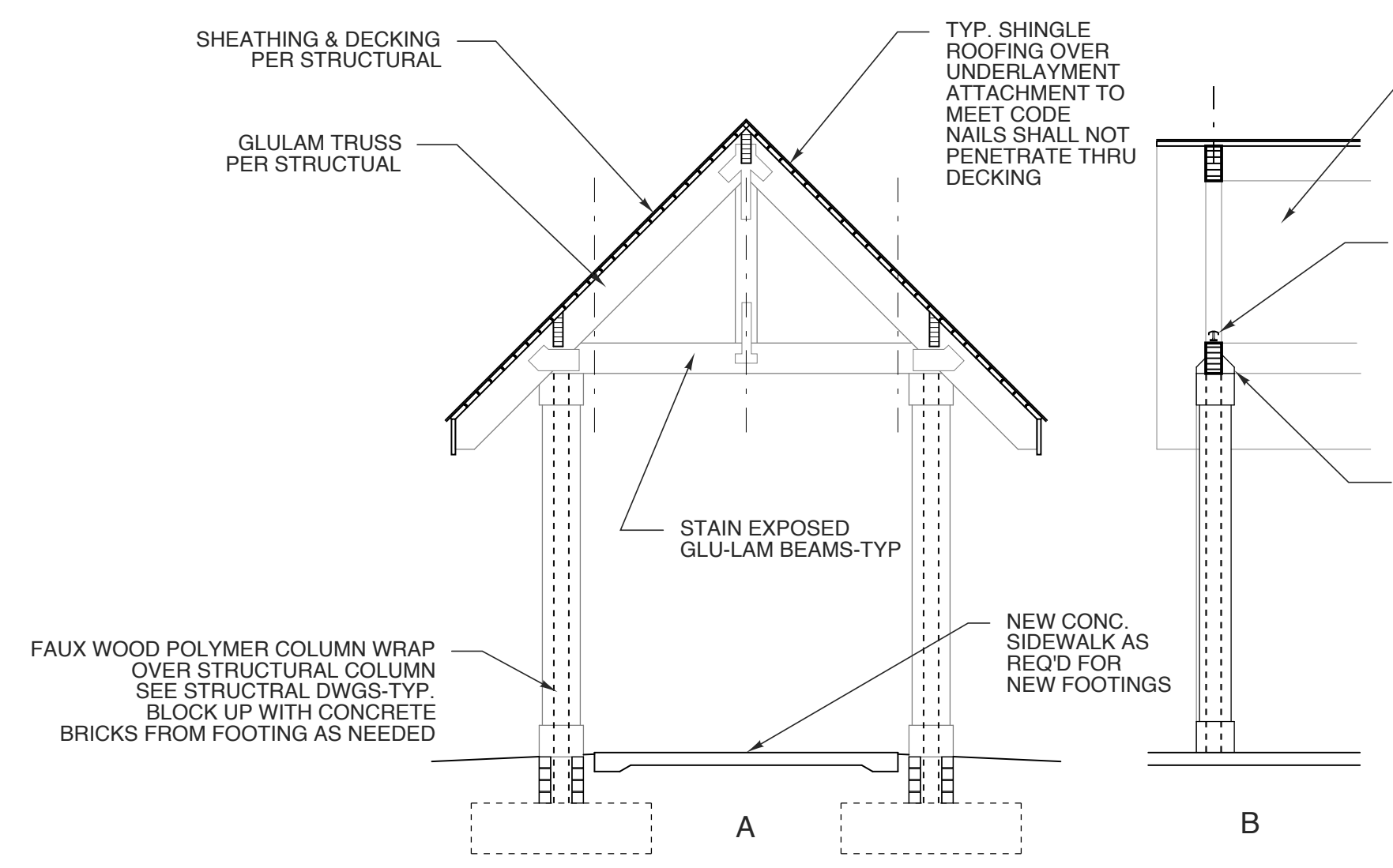
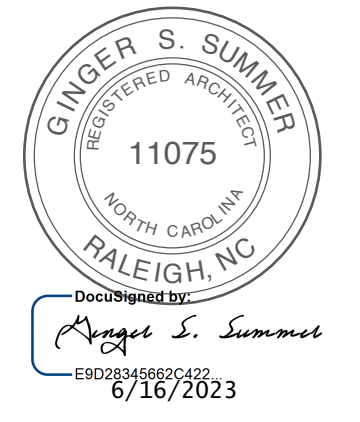
A2

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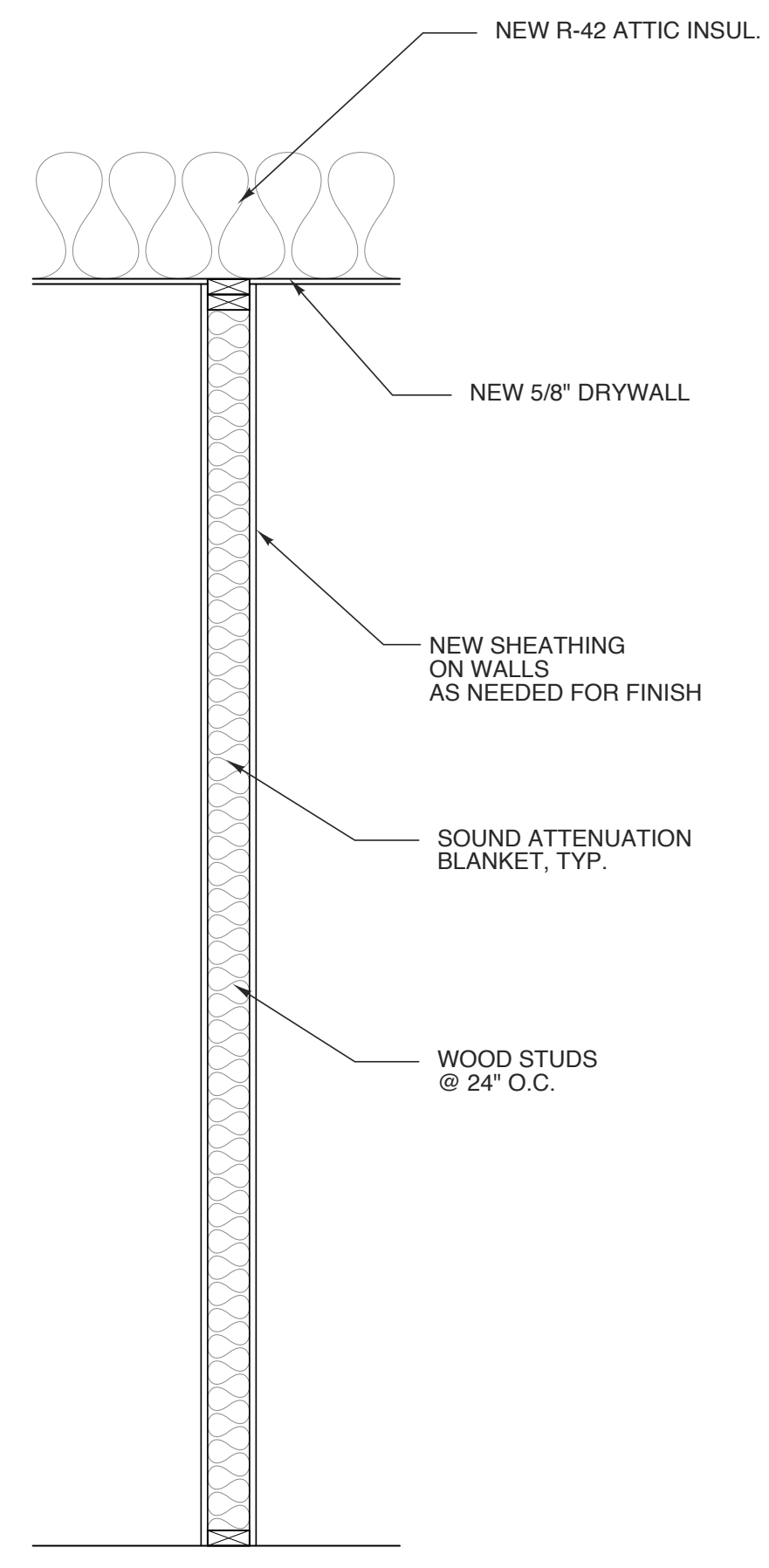


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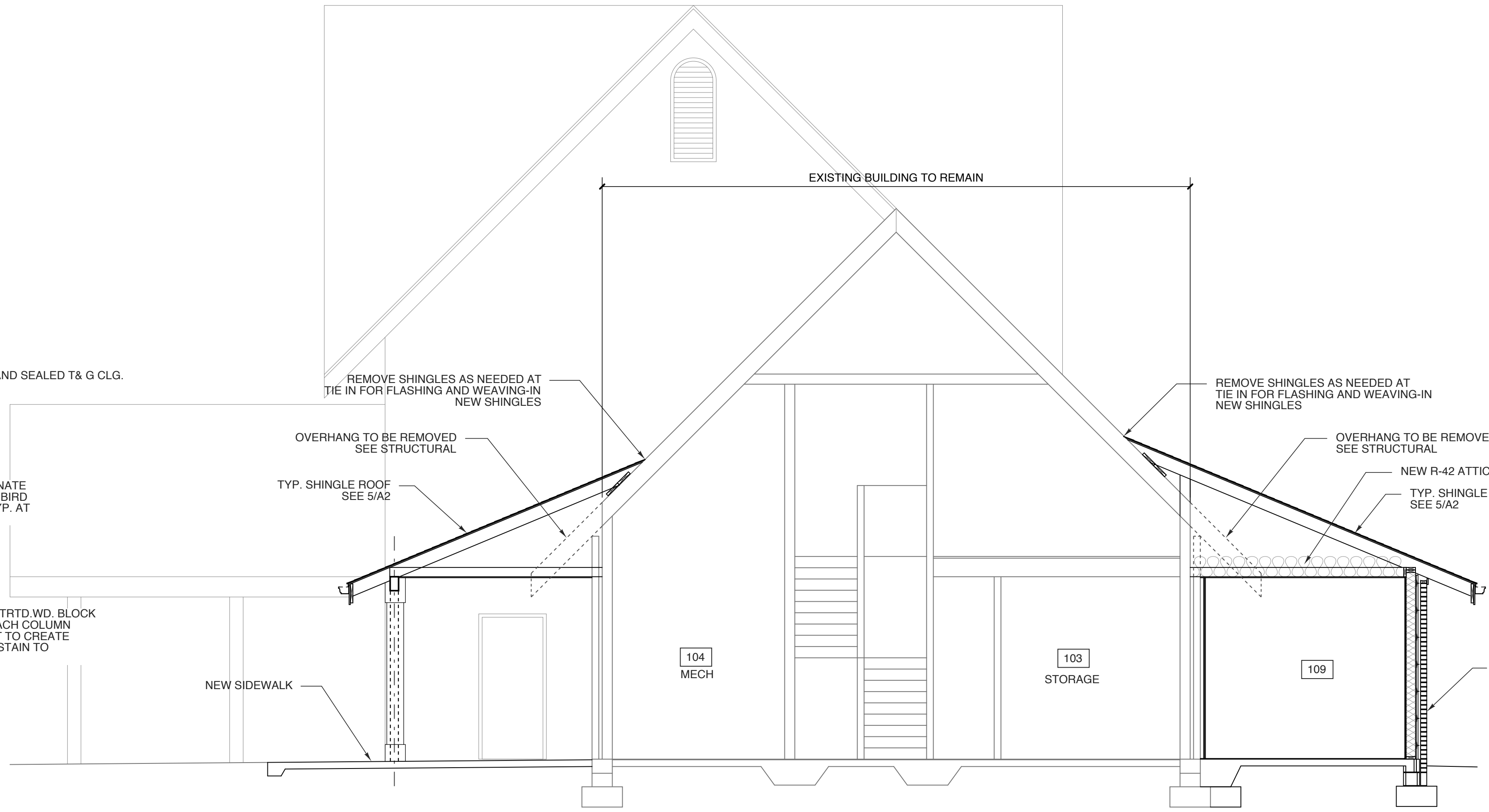


4 SECT. @ ENTRY TO VISITOR CTR.
SCALE: 1/4" = 1'-0"

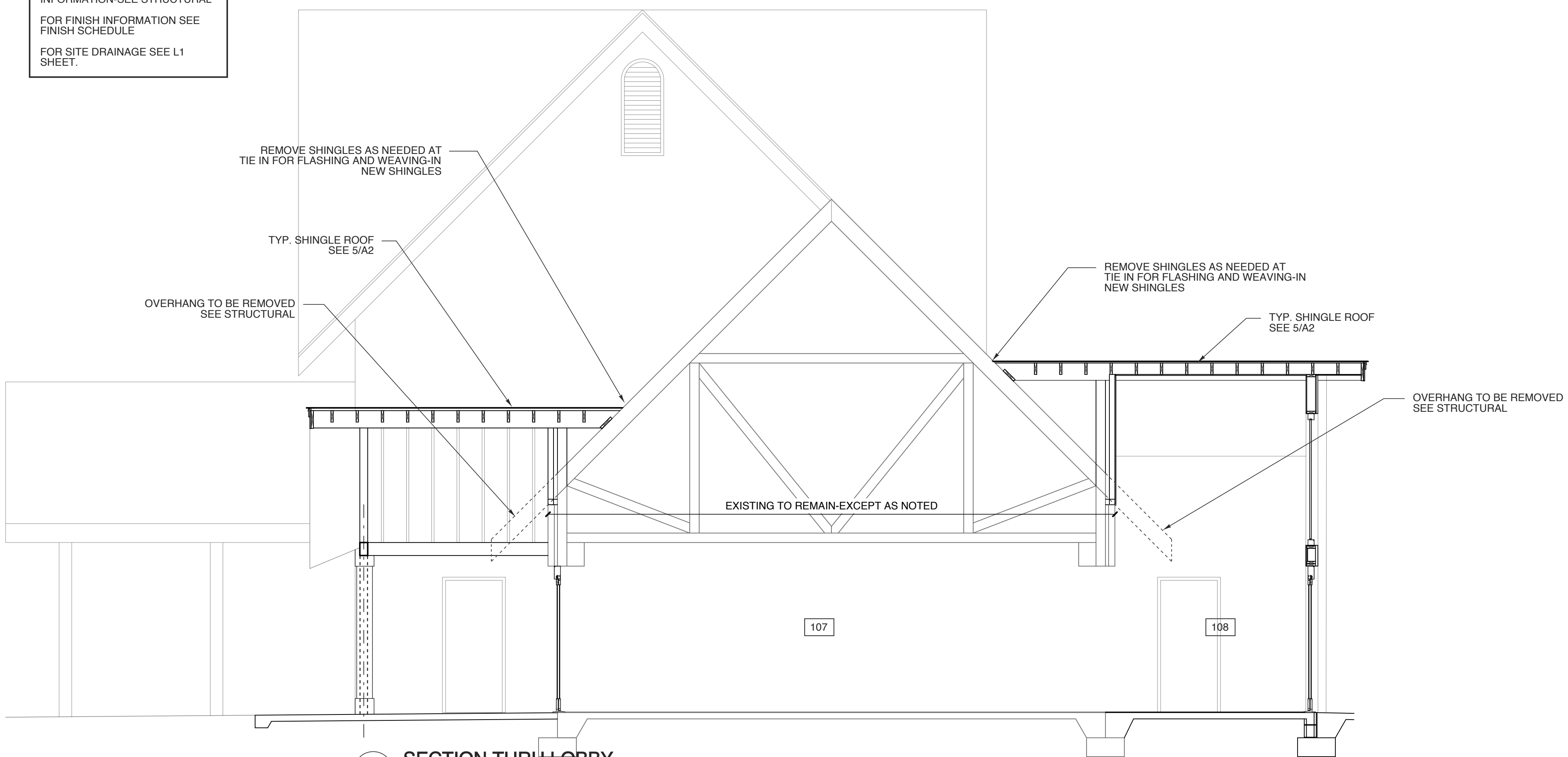
NOTES
FOR FOUNDATION AND FRAMING
INFORMATION-SEE STRUCTURAL
FOR FINISH INFORMATION SEE
FINISH SCHEDULE
FOR SITE DRAINAGE SEE L1
SHEET.



3 TYP. INT. WALL SECT.
SCALE: 3/4" = 1'-0"



2 SECTION THRU FAMILY RESTROOM
SCALE: 1/4" = 1'-0"



1 SECTION THRU LOBBY
SCALE: 1/4" = 1'-0"

BID SET 5.1.23
WBS: 15RE.13.3
SCO ID# 21-24079-01A

PROJECT TITLE
**BRUNSWICK CTY
VISTOR'S CENTER**
394 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

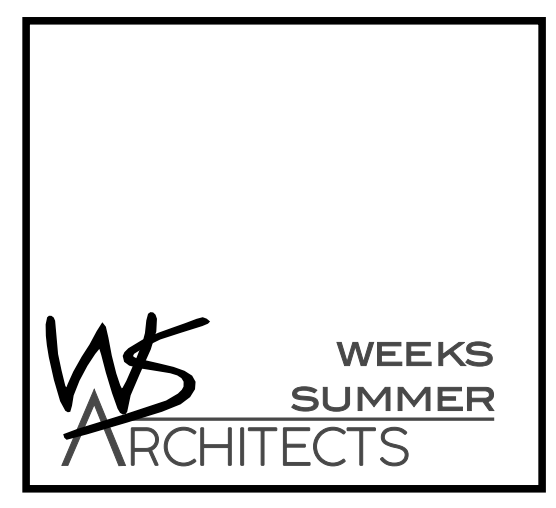
PROJECT NO.
2104a
DRAWING TITLE
BLDG. SECTIONS

SHEET 8 OF 13

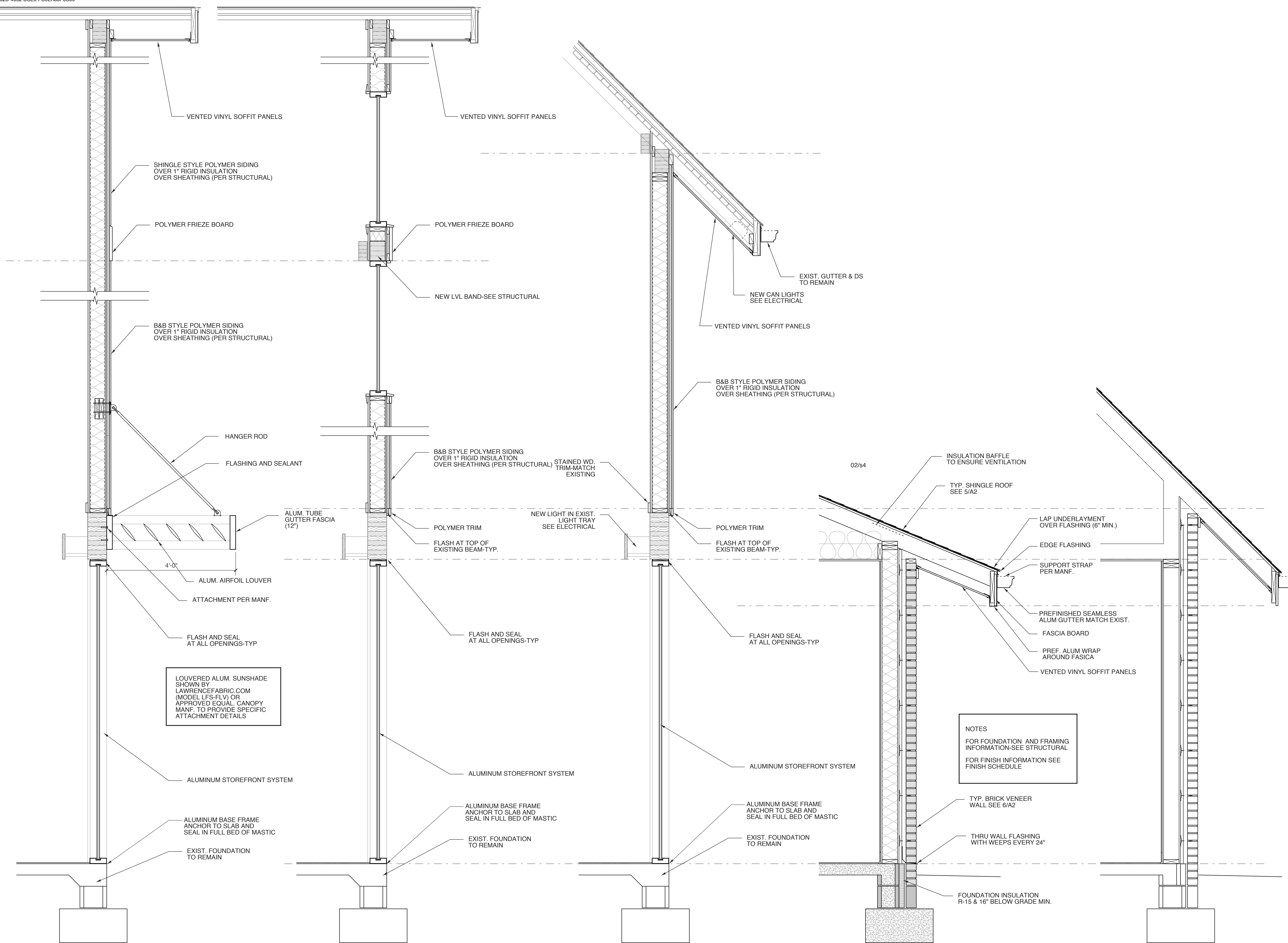
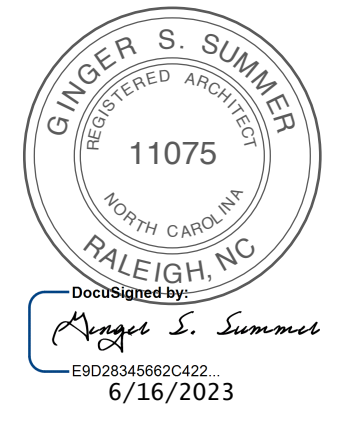
A3.0

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5 WALL SECTION
 SCALE: 3/4" = 1'-0"

4 WALL SECTION
 SCALE: 3/4" = 1'-0"

3 WALL SECTION
 SCALE: 3/4" = 1'-0"

2 NEW WALL SECTION
 SCALE: 3/4" = 1'-0"

1 EXIST. WALL SECTION
 SCALE: 3/4" = 1'-0"

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 WBS: 15RE.13.3
 SCO ID# 21-24079-01A

PROJECT TITLE
BRUNSWICK CTY VISTOR'S CENTER
 394 WHITEVILLE ROAD NW
 SHALLOTE, NORTH CAROLINA

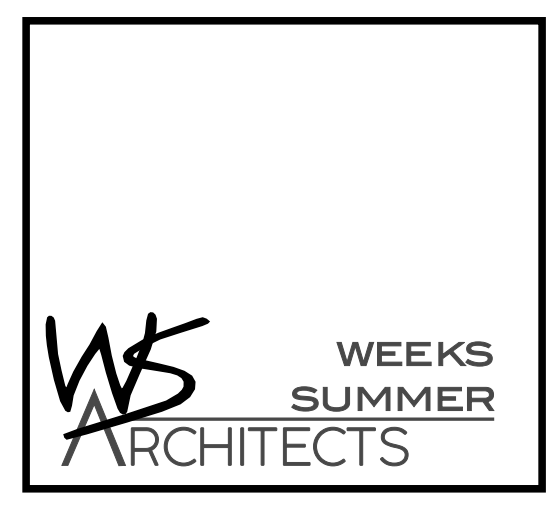
PROJECT NO.
2104a
 DRAWING TITLE
WALL SECTIONS

SHEET 9 OF 12

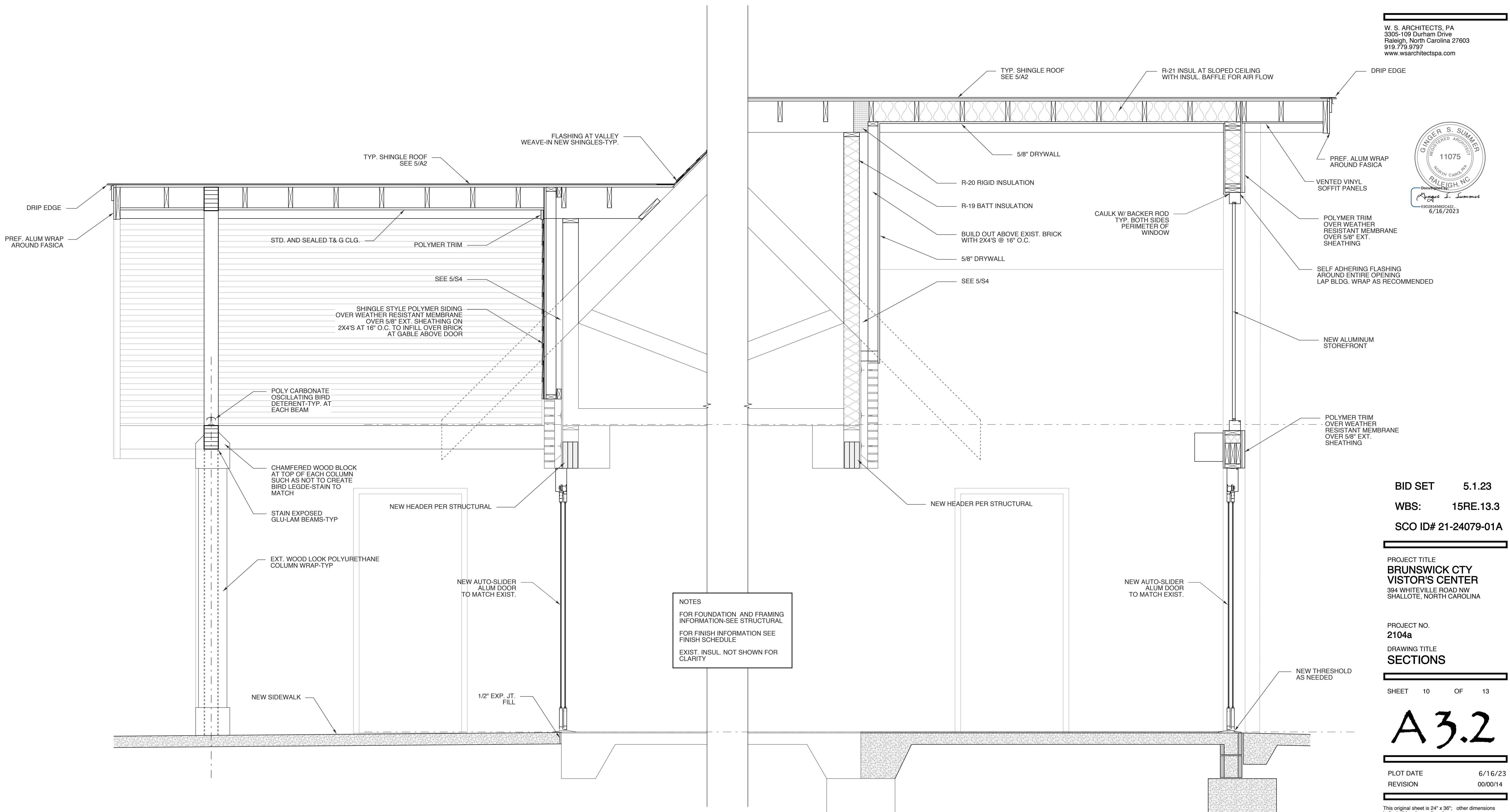
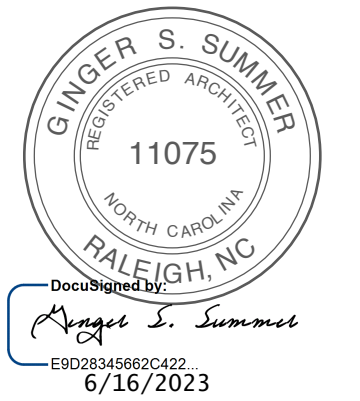
A3.1

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FINISH SCHEDULE
EXIST. INSUL. NOT SHOWN FOR
CLARITY

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SCO ID# 21-24079-01A

PROJECT TITLE
**BRUNSWICK CTY
VISTOR'S CENTER**
394 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

PROJECT NO.
2104a
DRAWING TITLE
SECTIONS

SHEET 10 OF 13

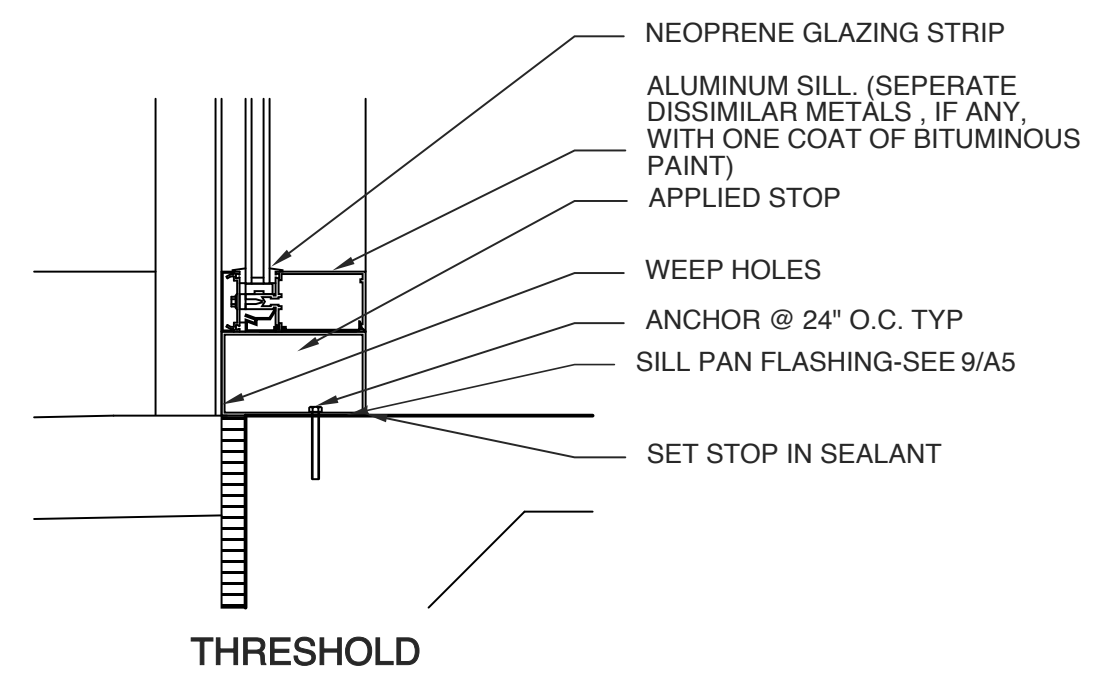
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2 NEW WALL SECTION
SCALE: 3/4" = 1'-0"

1 NEW WALL SECTION
SCALE: 3/4" = 1'-0"



6 ALUMINUM WINDOW
SCALE: 1 1/2" = 1'-0"

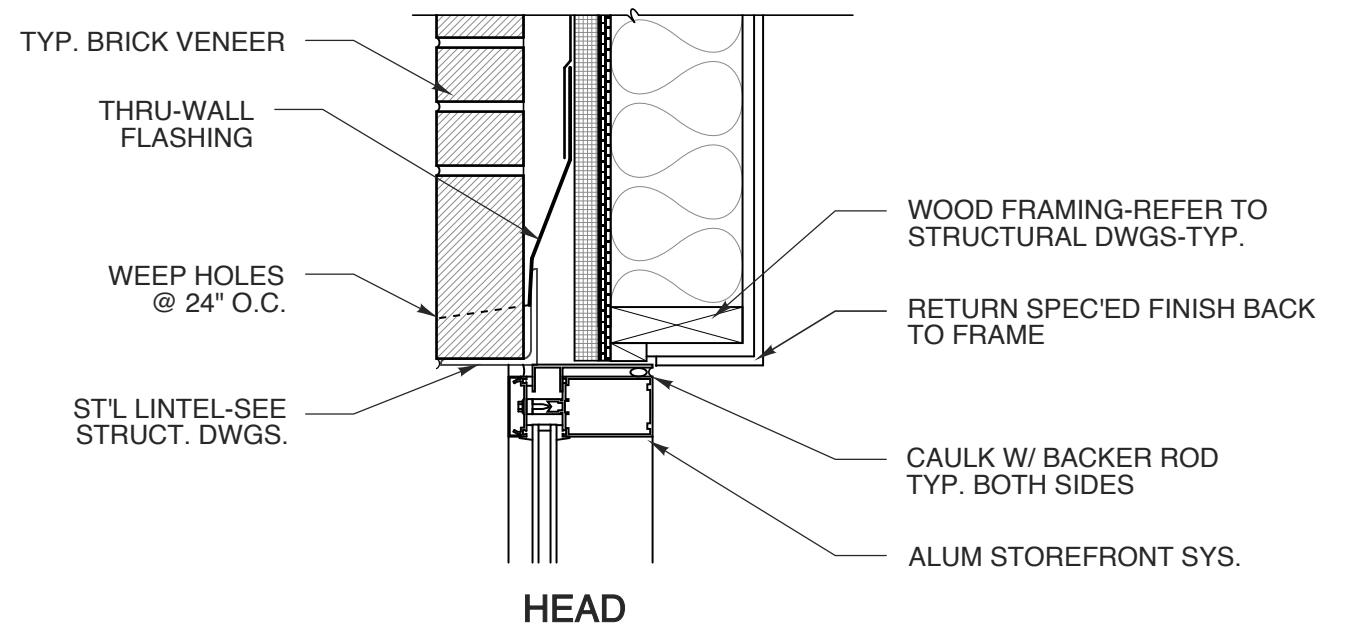
WINDOW SCHEDULE					
MARK	W	SIZE H	MATERIAL	GLASS	REMARKS
(A)	8'-11"	x 9'-0"	ALUM STOREFRONT	1" INSUL.	---
(B)	10'-8"	x 9'-0"	ALUM STOREFRONT	1" INSUL.	---
(C)	17'-0"	x 9'-0"	ALUM STOREFRONT	1" INSUL.	---
(D)	10'-11"	x 9'-0"	ALUM STOREFRONT	1" INSUL.	---
(E)	10'-11"	x 9'-0"	ALUM STOREFRONT	1" INSUL.	---
(F)	4'-0"	x 6'-0"	ALUM STOREFRONT	1" INSUL.	---
(G)	4'-0"	x 2'-4"	ALUM STOREFRONT	1" INSUL.	OBSCURE GLASS
(H)	4'-0"	x 4'-0"	ALUM STOREFRONT	1" INSUL.	---
(J)	3'-8"	x 6'-8"	ALUM STOREFRONT	1" INSUL.	45 DEG. ANGLE TOP
(K)	3'-8"	x 6'-8"	ALUM STOREFRONT	1" INSUL.	45 DEG. ANGLE TOP

NOTES:
STOREFRONT BASIS OF DESIGN KAWNEER TRIFAB 601T. FINISH TO MATCH EXISTING.
SEE ENERGY REPORT ON COVER SHEET FOR REQUIRED THERMAL VALUES.
ALL FRAME DIMENSIONS TO BE FIELD VERIFIED.
ALL WINDOWS TO MEET NCSBC SECTION 1609.1.2

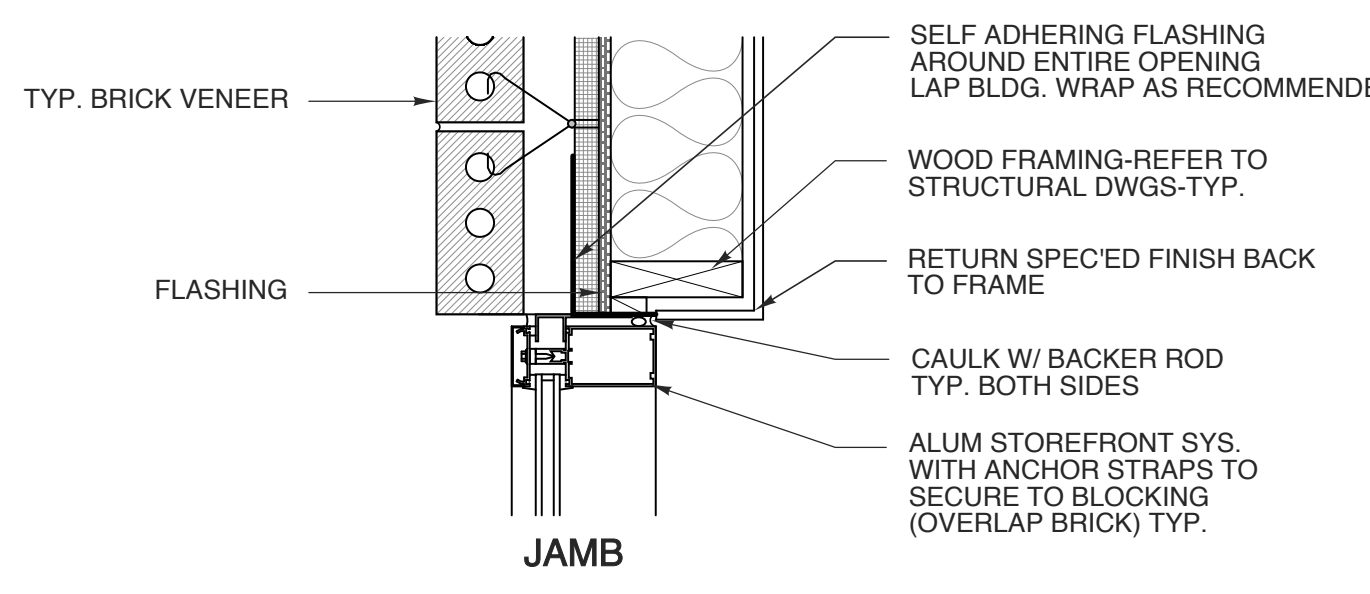
DOOR SCHEDULE							
MARK	DOOR			FRAME			
	SIZE	MAT'L	TYPE	MAT'L	TYPE	HDWR SET NO.	REMARKS
(1)	2'-3'-0" x 7'-0" x 1'-3/4"	ALUM	A	ALUM	---	5	TRANSOM ABOVE
(2)	3'-0" x 7'-0" x 1'-3/4"	SC WOOD	B	HM-WLD	---	2	---
(3)	8'-0" x 7'-0"	ALUM	C	ALUM	---	1	---
(4)	8'-0" x 7'-0"	ALUM	C	ALUM	---	1	---
(5)	exist. w/ 32" min. clr.	---	---	---	---	---	---
(6)	exist. w/ 32" min. clr.	---	---	---	---	---	---

NOTES:
- COORDINATE KEYING OF HARDWARE WITH OWNER
- DOOR HANDLES TO BE LEVER HANDLE
- ALL DOORS TO MEET NCSBC SECTION 1609.1.2
- PUSH/PULL HARWARE & KICK PLATE FINISHES TO MATCH HANDLESETS
- STOREFRONT BASIS OF DESIGN KAWNEER TRIFAB 601T. FINISH TO MATCH EXISTING.
- SEE ENERGY REPORT ON COVER SHEET FOR REQUIRED THERMAL VALUES.

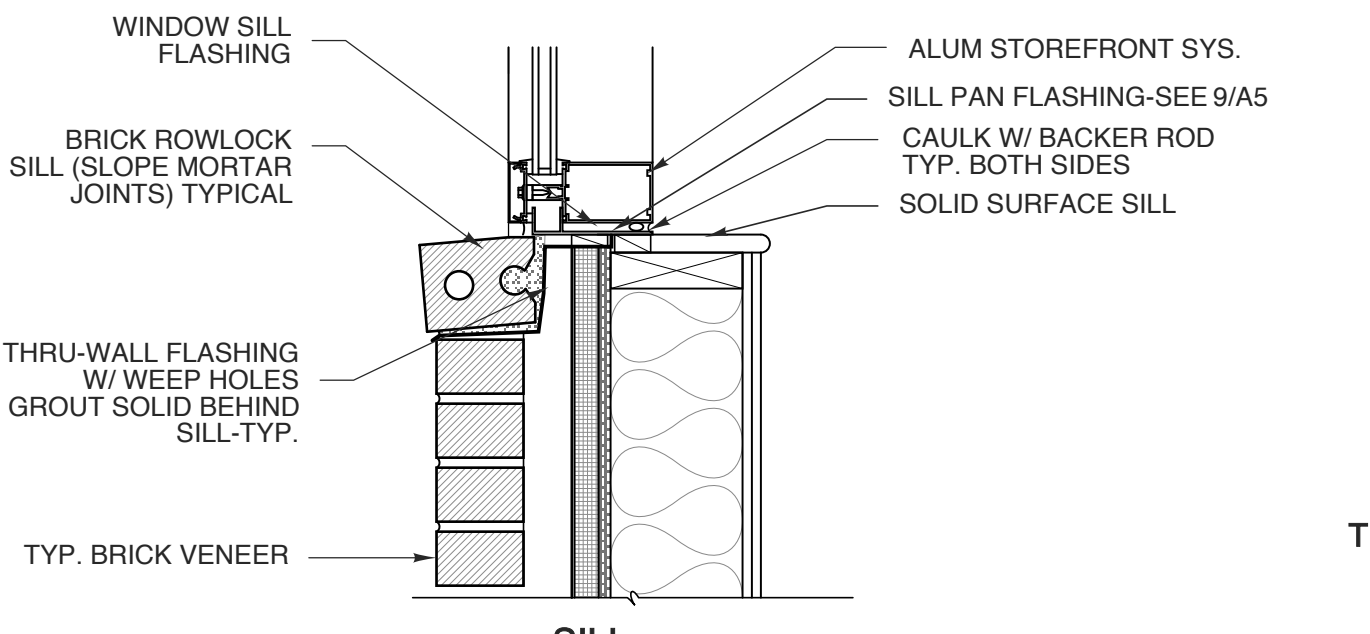
HARDWARE SETS
1. AUTOMATIC SLIDING W/EMERGENCY BREAK AWAY OPERATION
2. PASSAGE SET
3. STOREROOM FUNCTION LOCKSET
4. ADA CUP PULL (COL-405-15CC OR EQUAL)
5. PUSH / PULL HARDWARE WITH CLOSER
SEE SPEC FOR MORE INFORMATION



HEAD

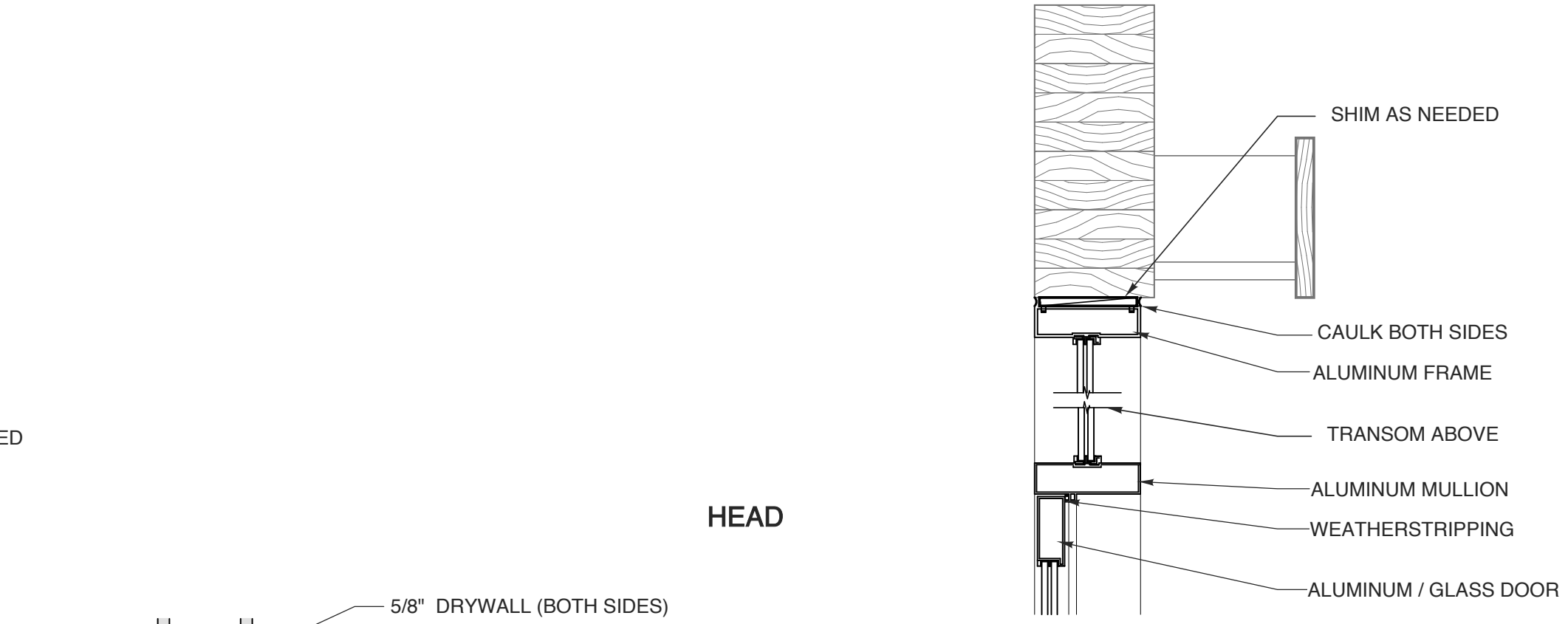


JAMB

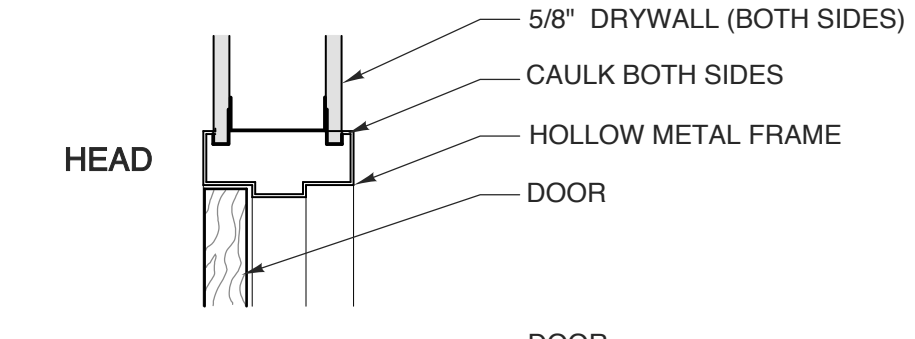


SILL

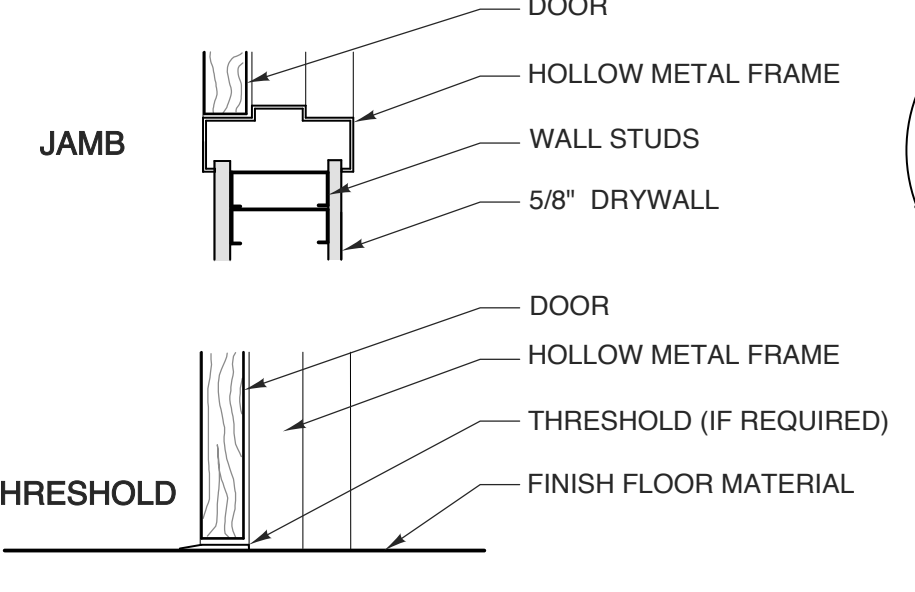
7 ALUMINUM WINDOWS @ brick
SCALE: 1 1/2" = 1'-0"



HEAD



JAMB

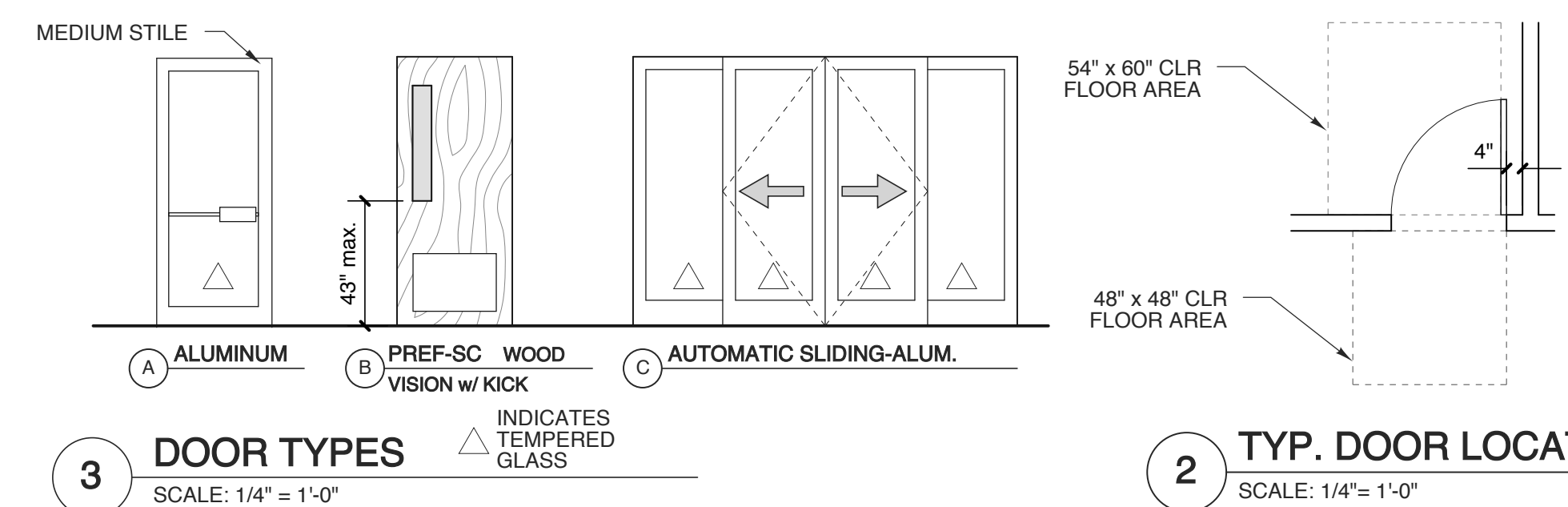


JAMB

THRESHOLD

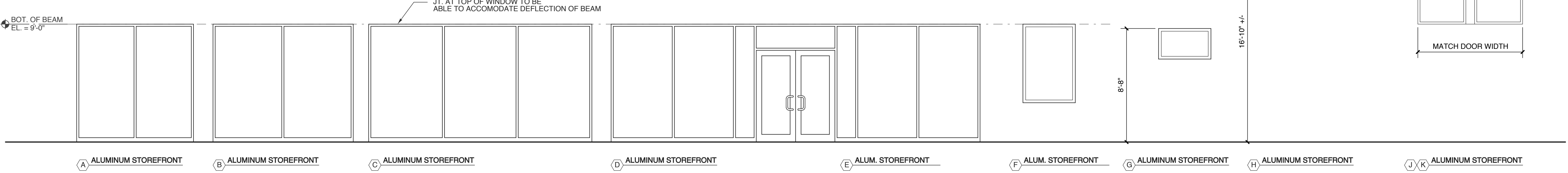
5 INT. SOLID WOOD DOOR
SCALE: 1 1/2" = 1'-0"

4 STOREFRONT DOOR W/ TRANSOM
SCALE: 1 1/2" = 1'-0"



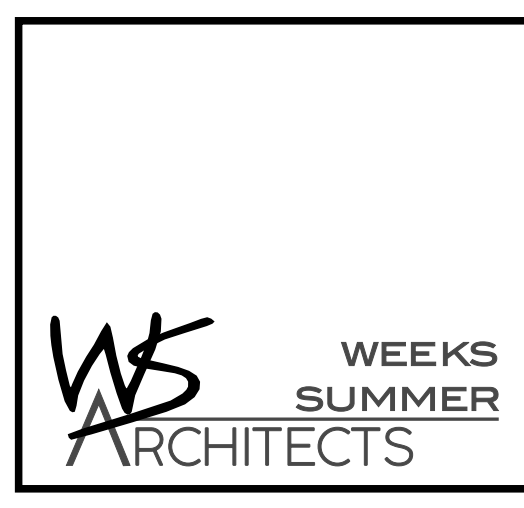
3 DOOR TYPES
SCALE: 1/4" = 1'-0"

2 TYP. DOOR LOCATION
SCALE: 1/4" = 1'-0"

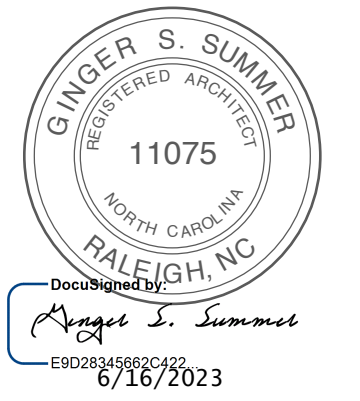


1 DOOR FRAME TYPES
SCALE: 1/4" = 1'-0"

ALL GLASS TO BE TEMPERED PER NCBC SECTION 2406.4



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SCO ID# 21-24079-01A

PROJECT TITLE
BRUNSWICK CTY VISTOR'S CENTER
394 WHITEVILLE ROAD NW
SHALLOTE, NORTH CAROLINA

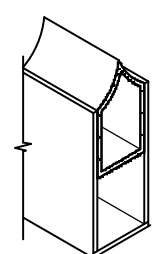
PROJECT NO.
2104a
DRAWING TITLE
DOOR & WINDOW SCHED/DETAILS

SHEET 11 OF 13

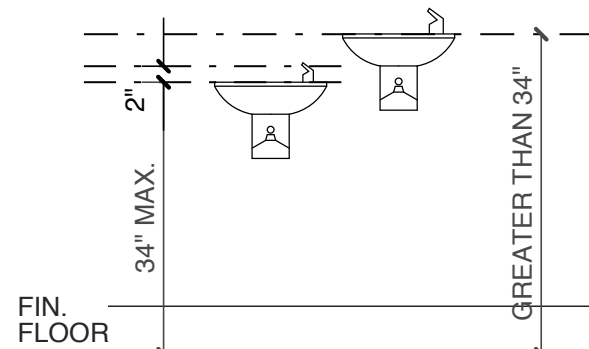
A4

PLOT DATE 6/16/23
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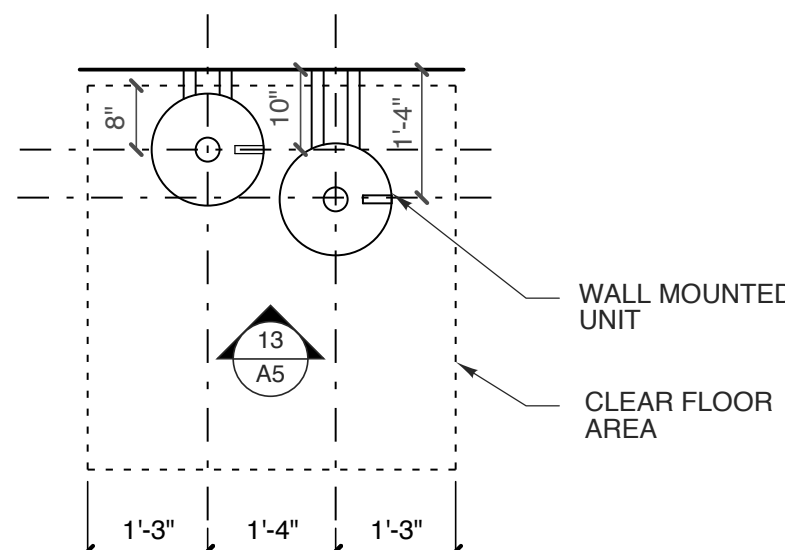
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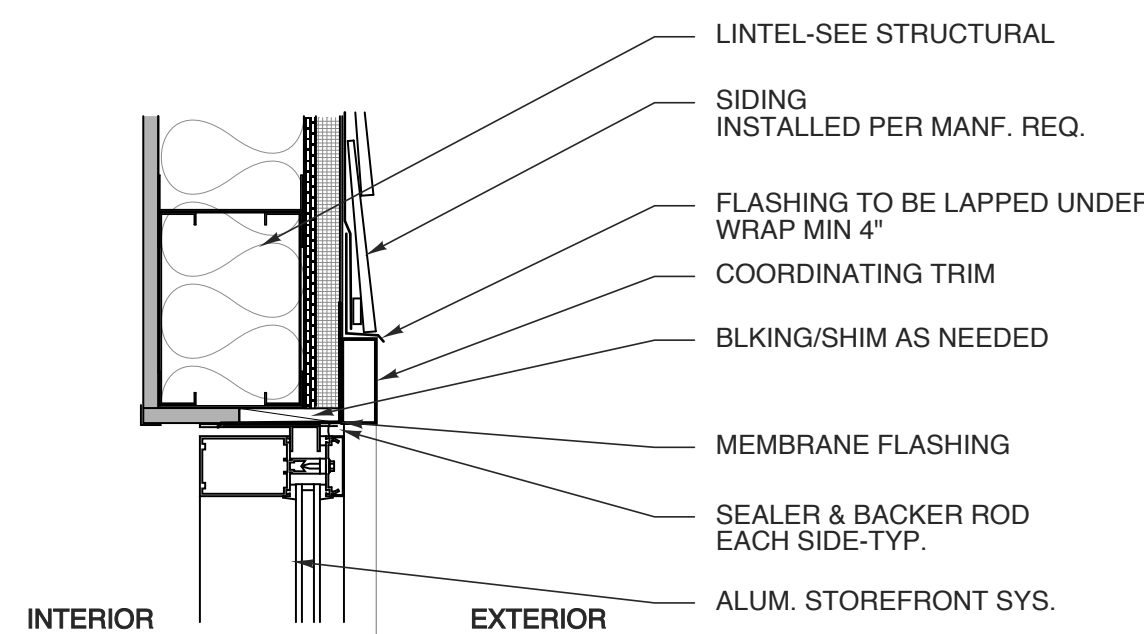
14 ANTI-GRIP HEADRAIL
SCALE: NTS



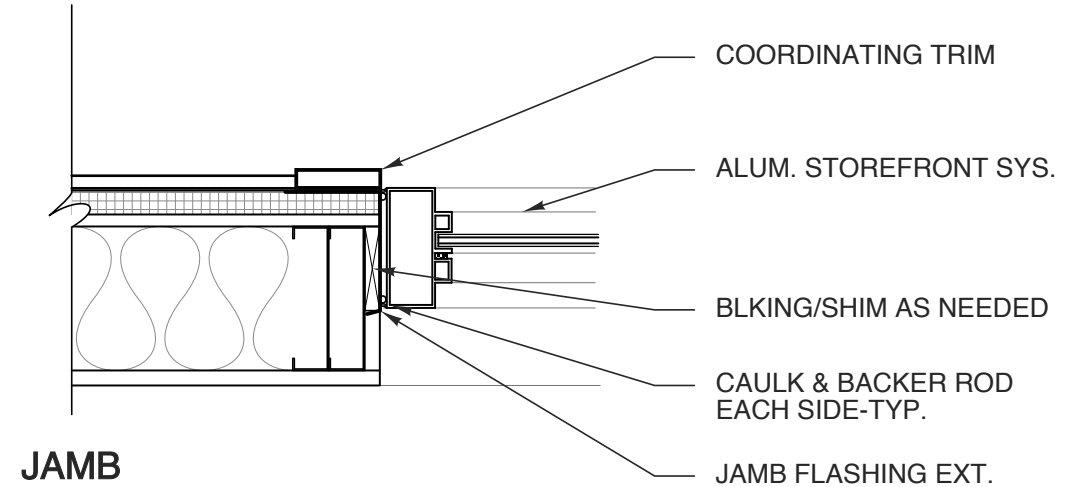
13 HC DF ELEVATION
SCALE: 1/2" = 1'-0"



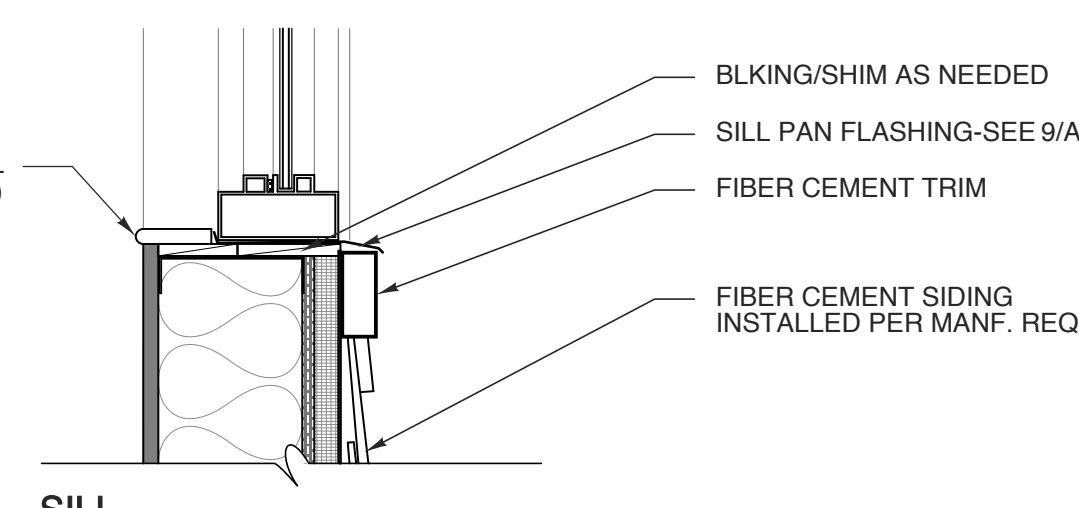
12 HC DF PLAN
SCALE: 1/2" = 1'-0"



HEAD

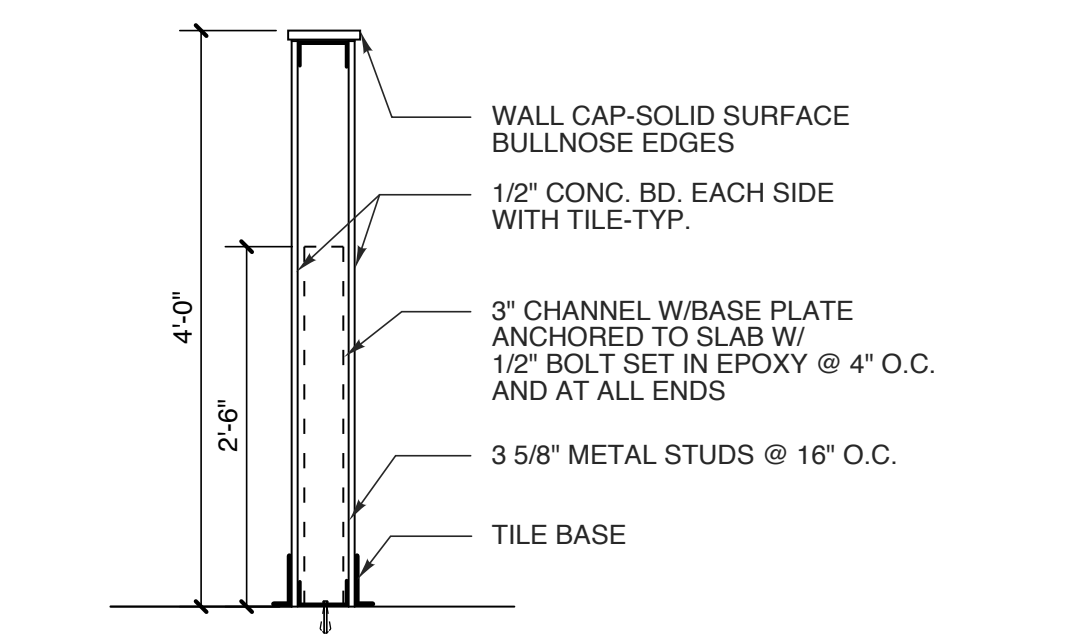


JAMB



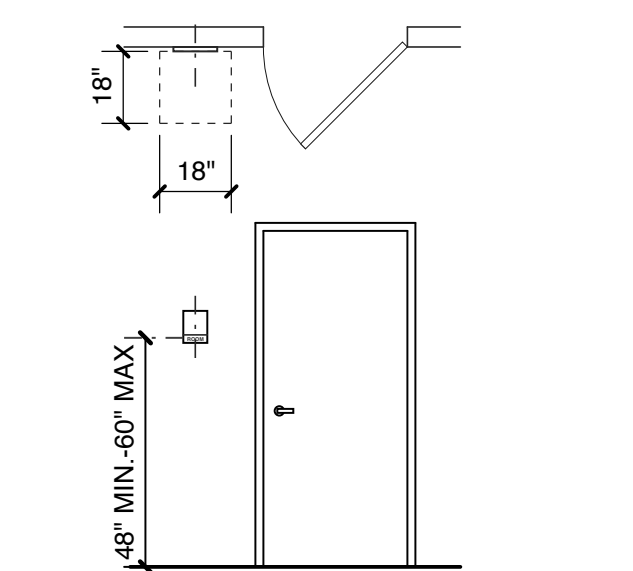
SILL

8 ALUMINUM STOREFRONT WINDOW @SIDING
SCALE: 3/4" = 1'-0"

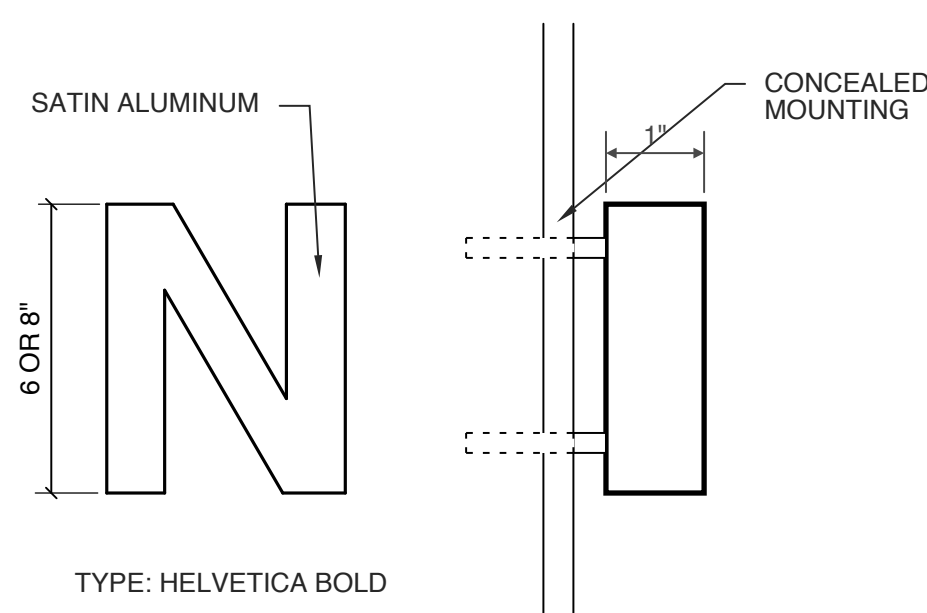


4 INTERIOR KNEE WALL SECTION
SCALE: NTS

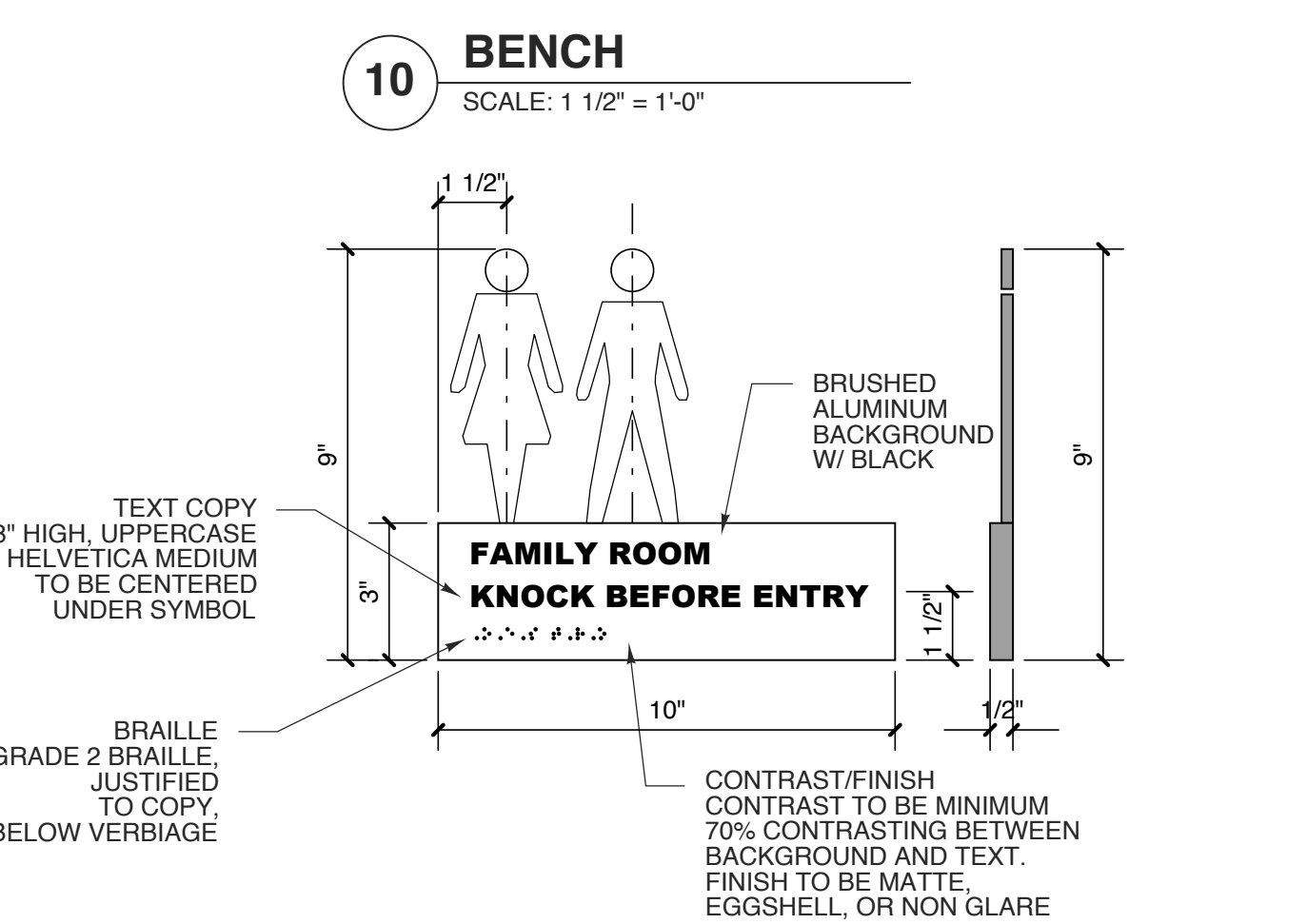
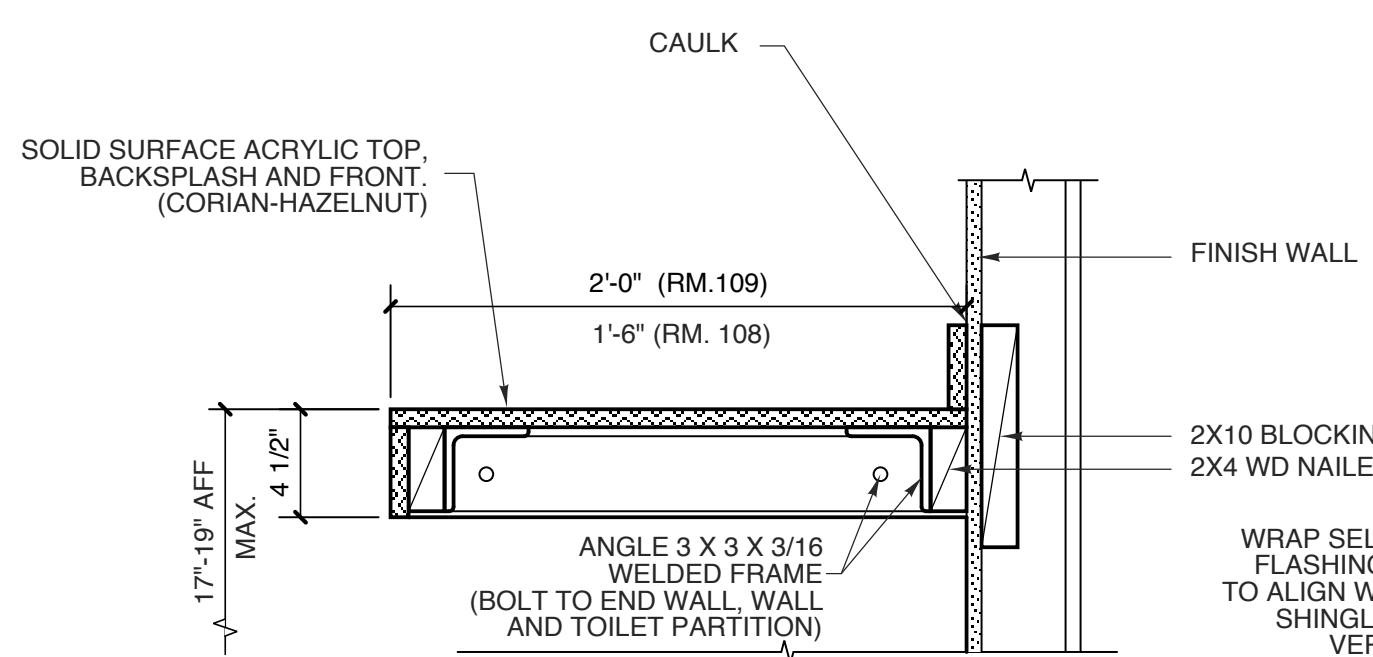
11 SIGNAGE PLACEMENT
SCALE: 1/4" = 1'-0"



7 DIMENSIONAL LETTER
SCALE: 3" = 1'-0"

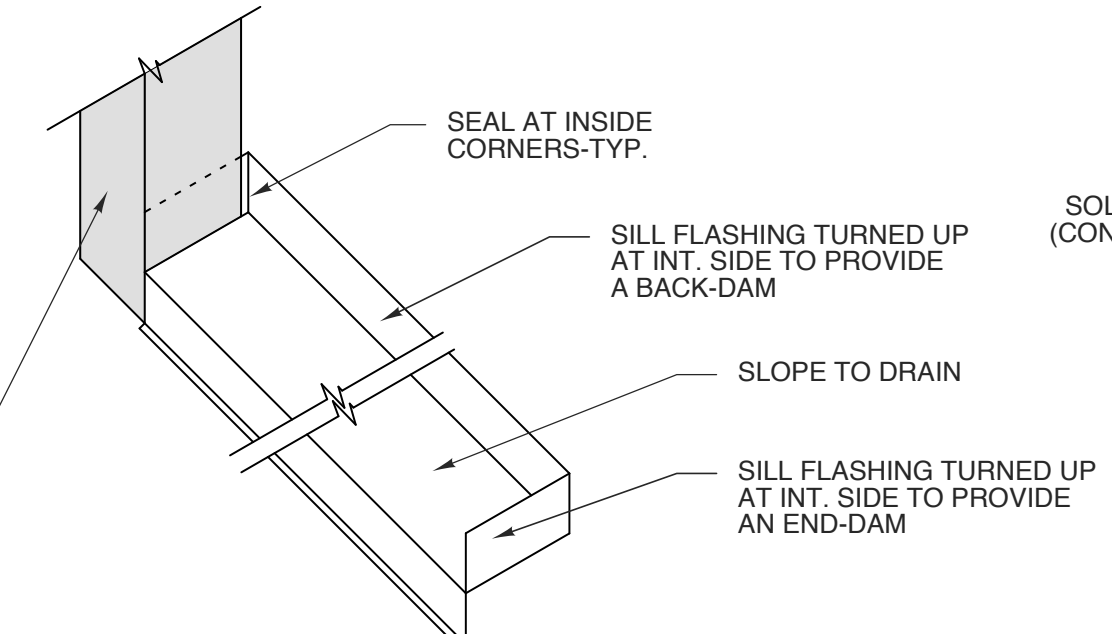


10 BENCH
SCALE: 1 1/2" = 1'-0"

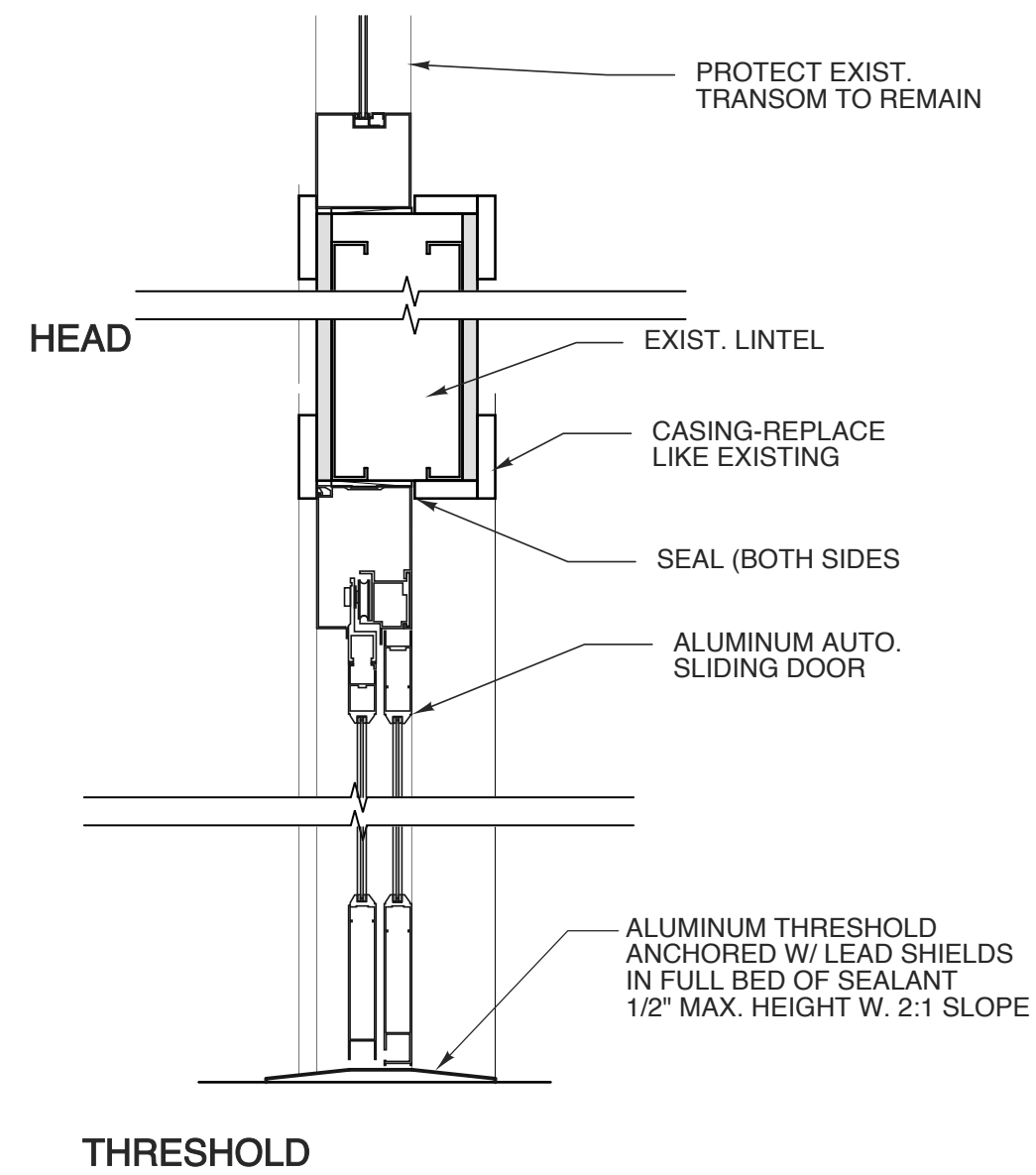
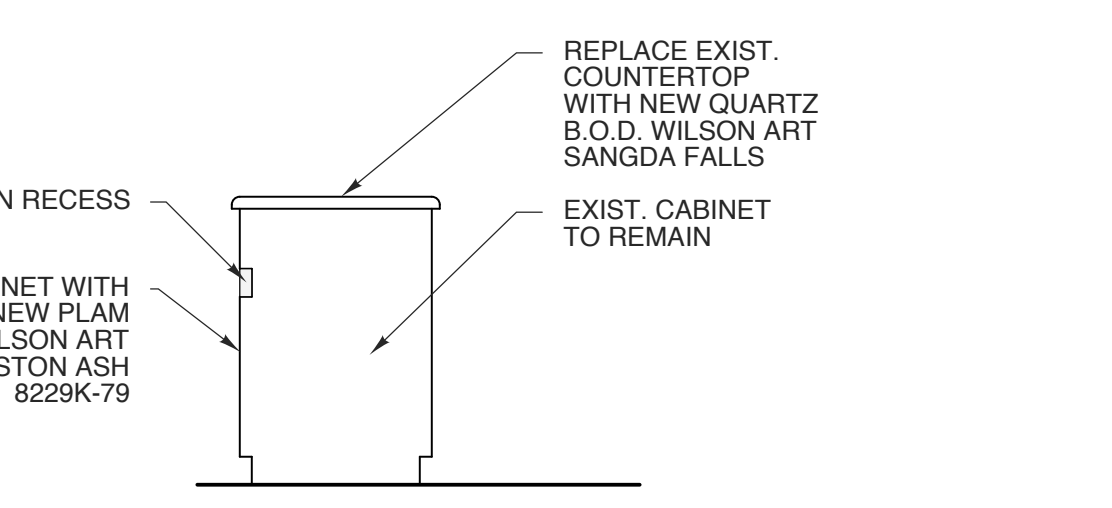


6 FAMILY ROOM SIGNAGE
SCALE: 3" = 1'-0"

9 FLASHING
SCALE: NTS

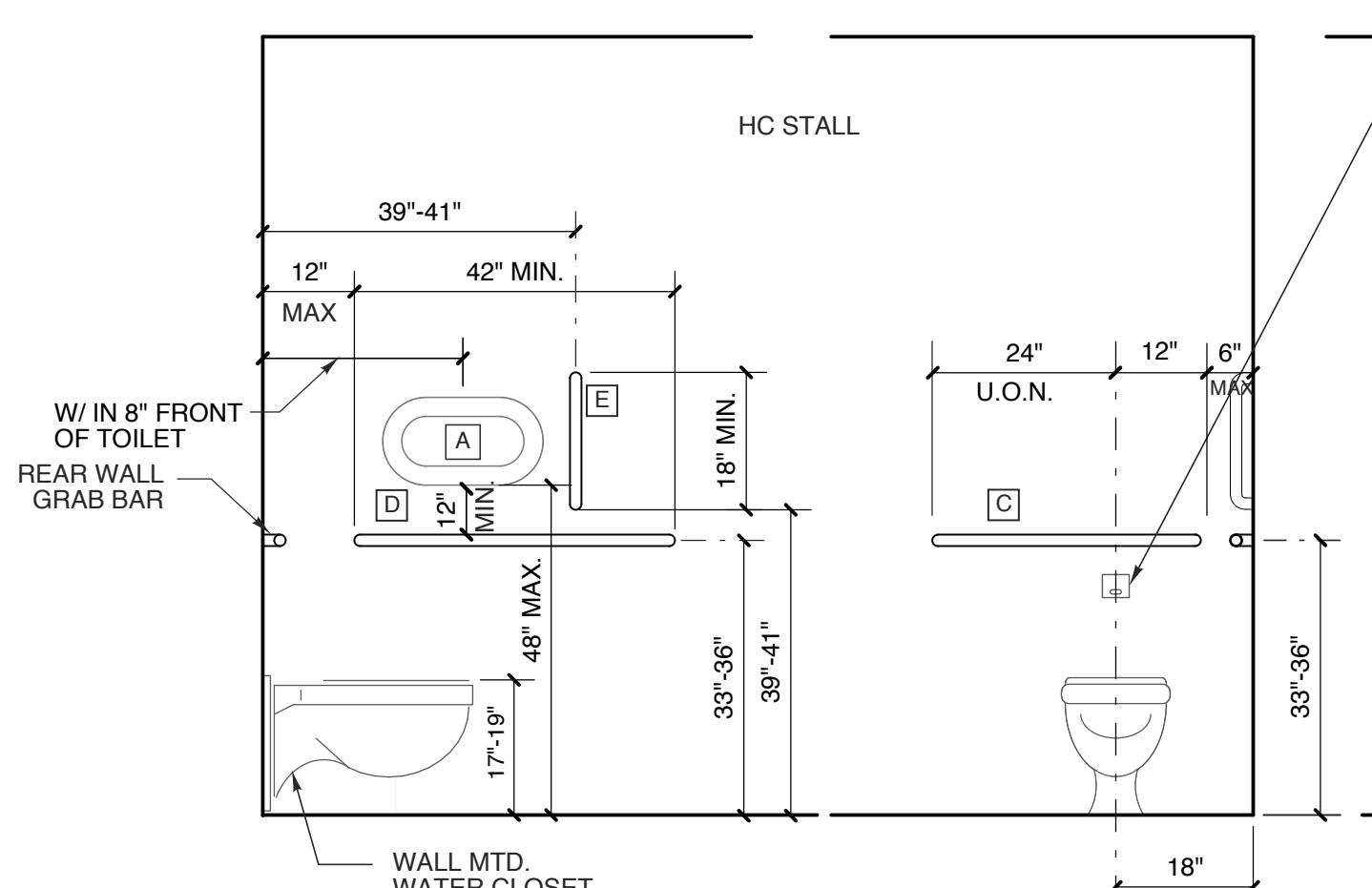


5 HC DF ELEVATION
SCALE: 1/2" = 1'-0"

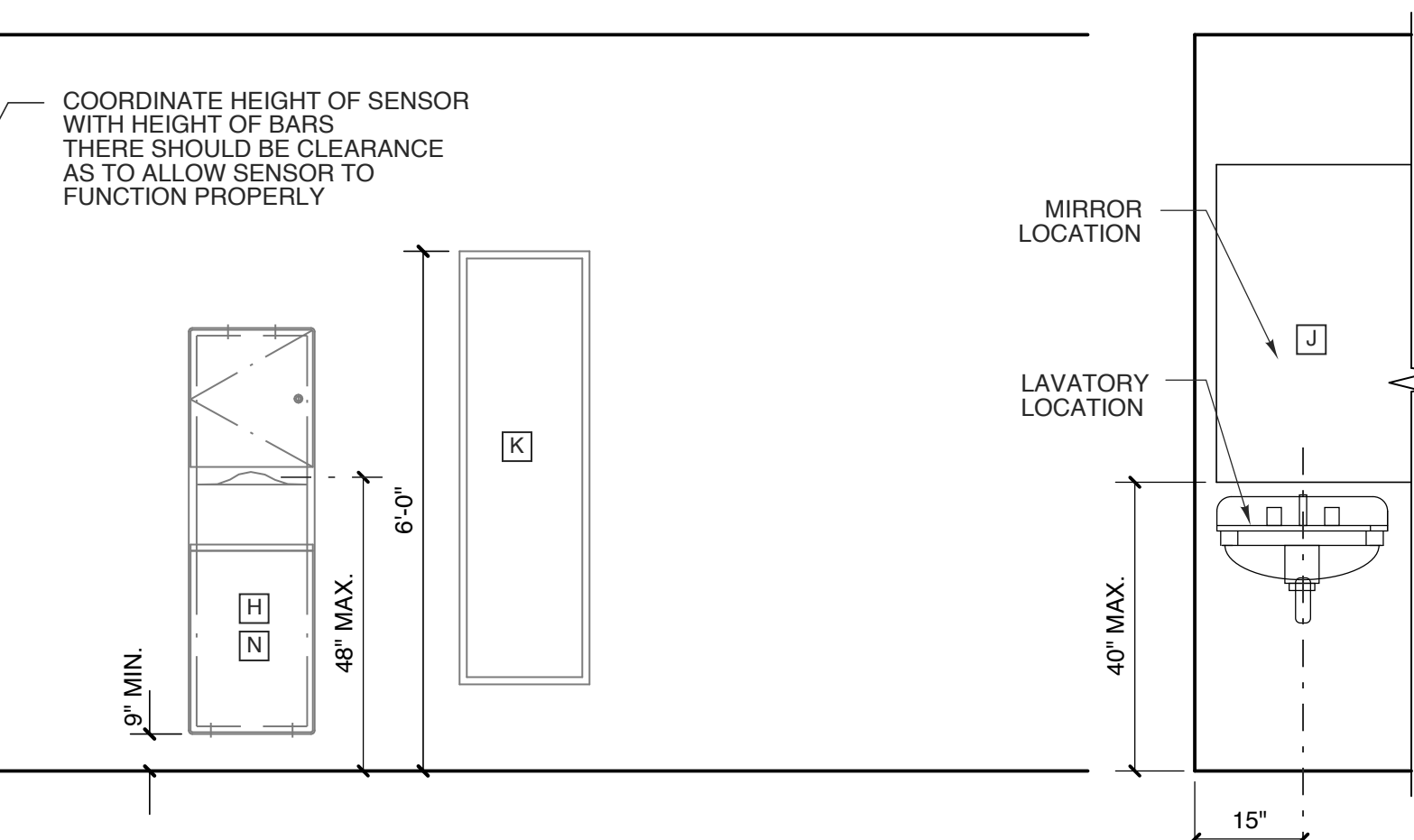


15 SLIDING DOOR
SCALE: 1-1/2" = 1'-0"

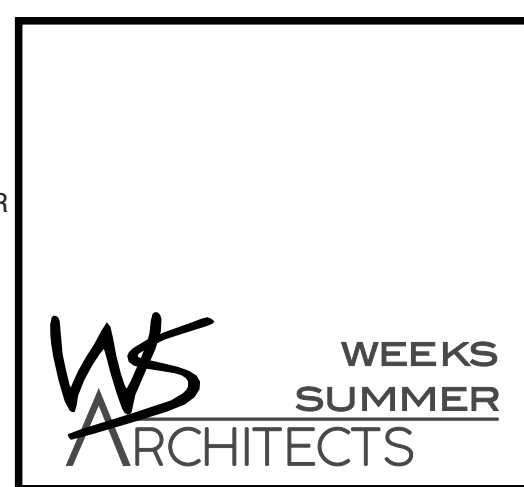
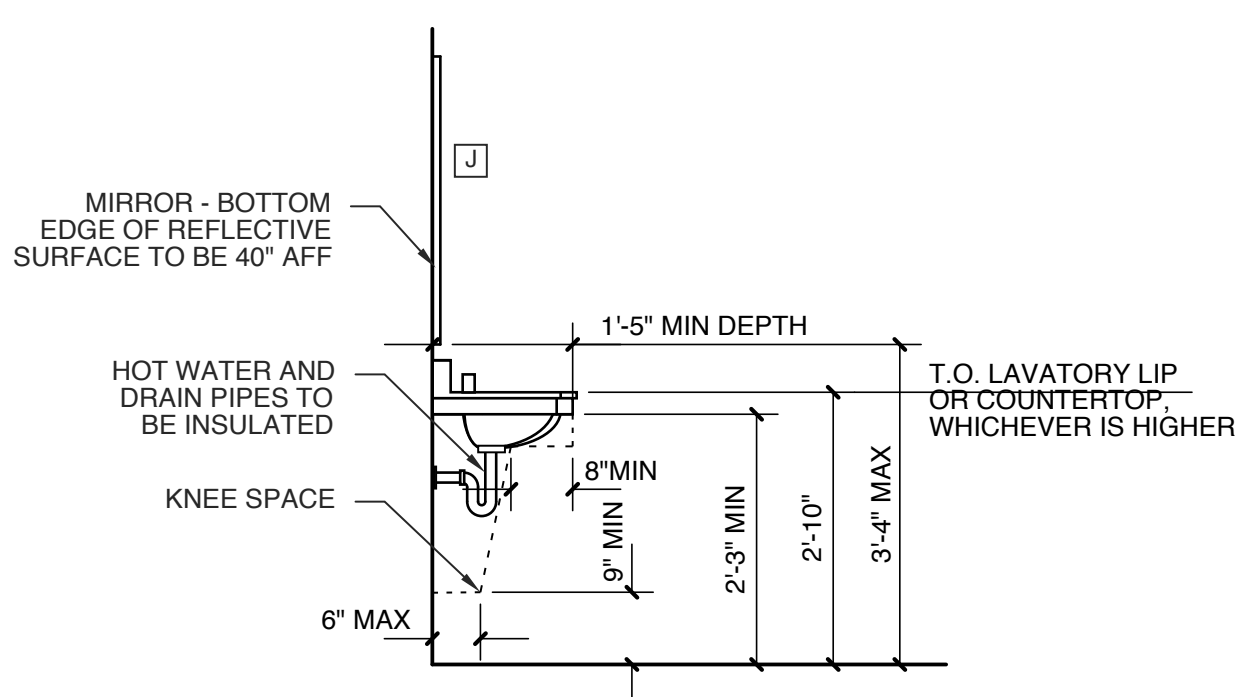
3 TYPICAL HEIGHTS



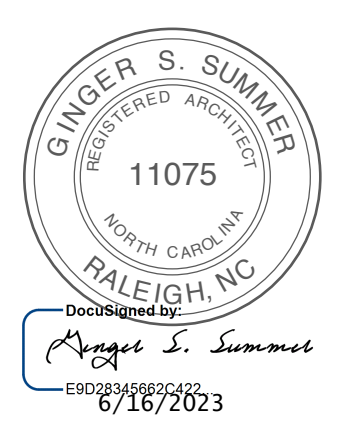
2 TYPICAL HEIGHTS



1 LAV. SECTION
SCALE: 1/2" = 1'-0"



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394 WHITEVILLE ROAD NW
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DRAWING TITLE
DETAILS

SHEET 13 OF 13

A5

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